

# BOUNDARY RETRACEMENT AND TOPOGRAPHIC SURVEY

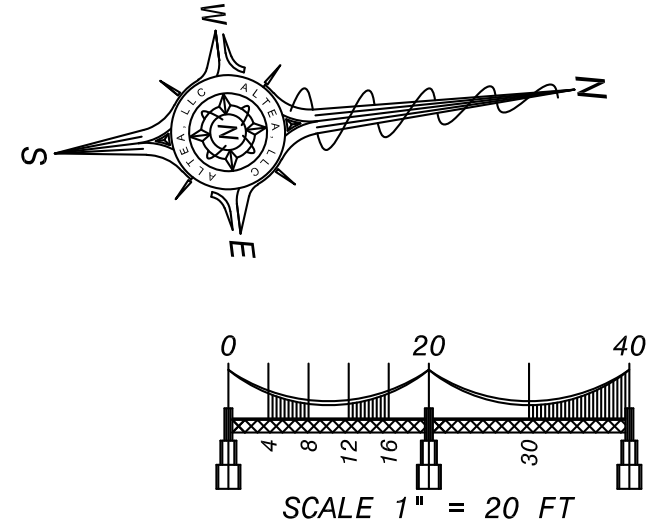
## 2501 ANNALEE AVENUE

THE NORTH 50 FEET OF LOT 23 IN BLOCK 5  
OF WARREN PLACE SUBDIVISION  
PLAT BOOK: 9 PAGE: 7  
ST. LOUIS COUNTY, MO

N/F  
LOCATOR: 21K420652  
D.B. 22308, PG. 3363

N/F  
LOCATOR: 21K420593  
D.B. 9136, PG. 847

LOT 22  
N/F  
LOCATOR: 21K420692  
D.B. 22308, PG. 3368



NOTE:  
SUBJECT PROPERTY IS ZONED "A" SINGLE FAMILY  
RESIDENTIAL PER THE CITY OF BRENTWOOD.  
ACCESSORY STRUCTURE SETBACKS ARE AS SHOWN HEREON.

### SURVEYOR'S NOTES

- CONTOURS DEPICTED HEREON ARE DISPLAYED IN TWO (2) FOOT INTERVALS.
- SITE BENCHMARK: ELEVATION = 100.00'. SET REBAR AT THE SOUTH EAST CORNER OF SUBJECT PROPERTY.
- ANY UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM ABOVE GROUND OBSERVATIONS ONLY. THIS COMPANY HAS MADE NO ATTEMPT TO EXCAVATE OR GO BELOW SURFACE TO LOCATE UTILITIES AND DOES NOT EXTEND OR IMPLY A GUARANTY OR WARRANTY AS TO THE EXACT LOCATION OF OR COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO EXCAVATION OR CONSTRUCTION AND TO PROTECT SAID UTILITIES FROM DAMAGE.
- THE SUBJECT TRACT CONTAINS 0.34 ACRES MORE OR LESS (15,000 SQUARE FEET MORE OR LESS) TO RIGHT OF WAY OF ANNALEE AVENUE.

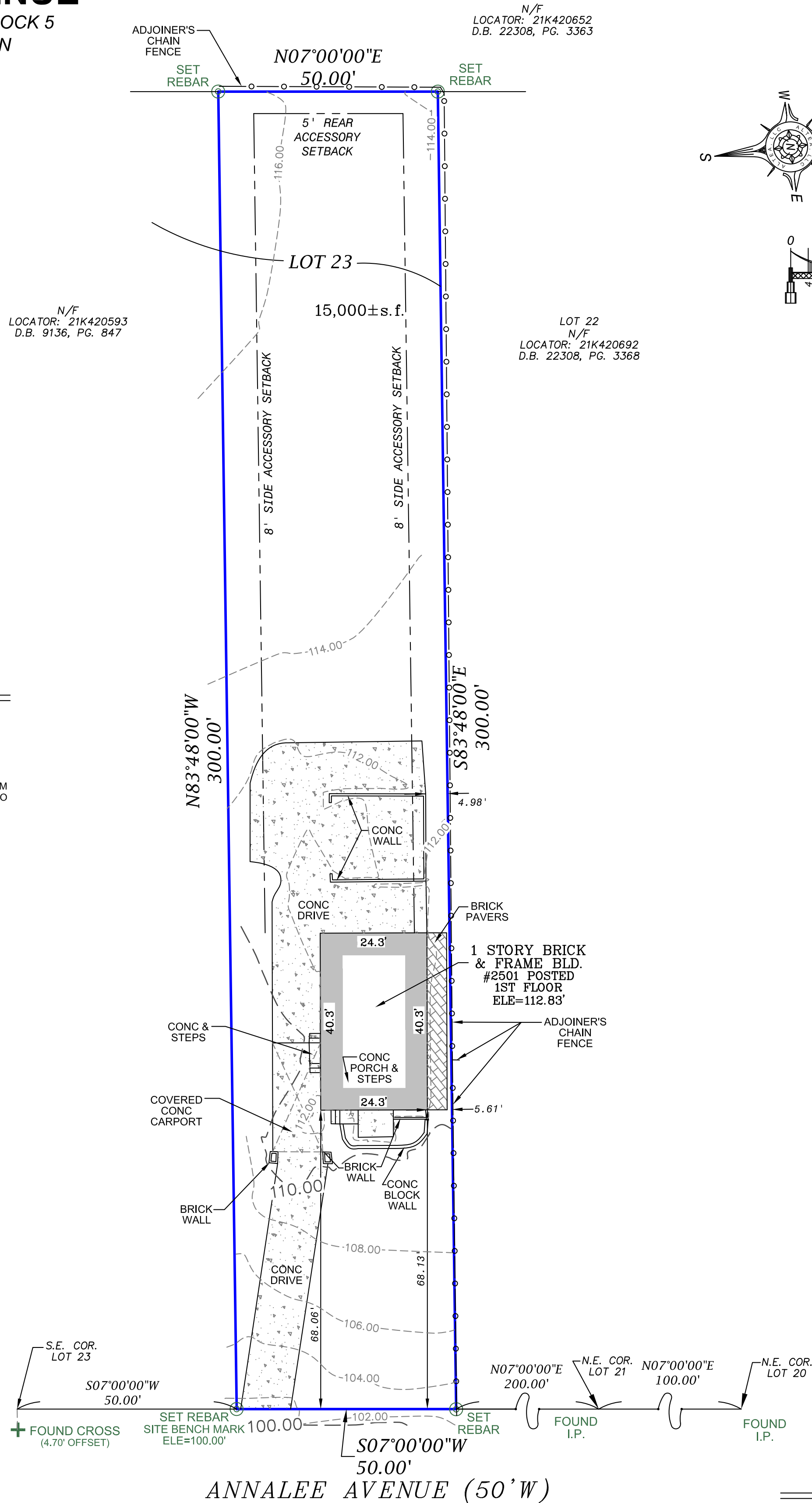
- FOUND/SET SEMI-PERMANENT MONUMENT
- FOUND/SET PERMANENT MONUMENT
- FOUND/SET CROSS
- FOUND/SET ANCHOR
- FOUND/SET NOTCH
- FOUND/SET ARROW
- SET STAKE
- SET HUB WITH TACK

### TITLE NOTES

THIS DRAWING HAS BEEN COMPILED WITHOUT THE BENEFIT OF A CURRENT CERTIFICATE OF TITLE EXAMINATION AND, THEREFORE, MAY NOT CONTAIN EASEMENTS, RESERVATIONS, EXCEPTIONS, RESTRICTIONS AND COVENANTS OF RECORD.

- BOUNDARY LINE
- EASEMENT LINE
- SETBACK LINE
- BUILDING FOOTPRINT
- CENTERLINE
- PARCEL LINE
- U.S. SURVEY/ SECTION LINE
- CHAIN FENCE
- WOOD, VINYL, OR METAL FENCE
- WIRE FENCE
- 10' CONTOUR LINE
- 2' CONTOUR LINE

ALTEA, LLC  
PROFESSIONAL LAND SURVEYING  
CERTIFICATE OF AUTHORITY: 2013023731



BASIS OF BEARINGS  
SCALED BEARING OF SOUTH 07°00'00" WEST ALONG THE EASTERN PROPERTY LINE AS SCALED OFF OF THE ST. LOUIS COUNTY ASSESSOR'S WEBSITE.

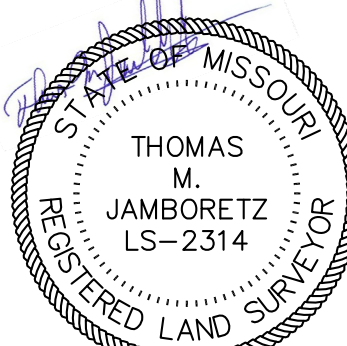
SHEET IDENTIFICATION **BOUNDARY SURVEY**

PROJECT NUMBER **21-0681-T**

<b>1</b> OF 1	FIELD CREW:	ZSN/JAM
	SURVEYED:	04/01/2021
	DRAFTER:	ECR
	DRAFTED:	04/07/2021
	REVIEWER:	BLH
	REVIEWED:	04/07/2021

**SURVEYOR'S STATEMENT**  
THIS IS TO DECLARE TO KEVIN KEIL, THAT AT HIS REQUEST, ALTEA, LLC., HAS DURING THE MONTH OF APRIL, 2021, EXECUTED A BOUNDARY & TOPOGRAPHIC SURVEY OF THE NORTH 50 FEET OF LOT 23 IN BLOCK 5 OF WARREN PLACE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 9, PAGE 7 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, TOGETHER WITH THE LOCATION OF OBSERVED IMPROVEMENTS THEREON, AND THAT THE RESULTS OF SAID SURVEY ARE IN MY PROFESSIONAL OPINION, CORRECTLY INDICATED ON THE ABOVE PLAT. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR URBAN CLASS PROPERTY. BUILDING SETBACK INFORMATION DEPICTED HEREON IS FROM THE RECORD PLAT OR CITY BLOCK MAP (IF APPLICABLE). PLANNING AND ZONING RESTRICTIONS WERE NOT OBTAINED OR ADDRESSED AS A PART OF THIS SURVEY. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY ONLY AND IS NOT TRANSFERABLE. UTILITY LOCATES WERE NOT REQUESTED AND NO UTILITIES OR SEWERS WERE LOCATED IN CONJUNCTION WITH THIS SURVEY. THE OPINION OF THE ORIGIN OF THE FENCES SHOWN HEREON IS FROM EVIDENCE OBSERVED DURING THE COURSE OF THIS SURVEY, AND MAY INCLUDE: FENCE CONSTRUCTION, OCCUPANT TESTIMONY, OR OTHER AVAILABLE INFORMATION. NO GUARANTEE IS MADE OR CERTAINTY GIVEN AS TO THE ORIGIN OR OWNERSHIP OF FENCES.

4-8-21  
DATE



ABBREVIATIONS

I.P. = IRON PIPE	I.R. = IRON ROD
P.B. = PLAT BOOK	PG. = PAGE
D.B. = DEED BOOK	N/F = NOW OR FORMERLY
(R) = RECORD	(S) = SURVEYED
(NR) = NON-RADIAL	ESMT. = EASEMENT

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AS AGENT OF ALTEA, LLC