

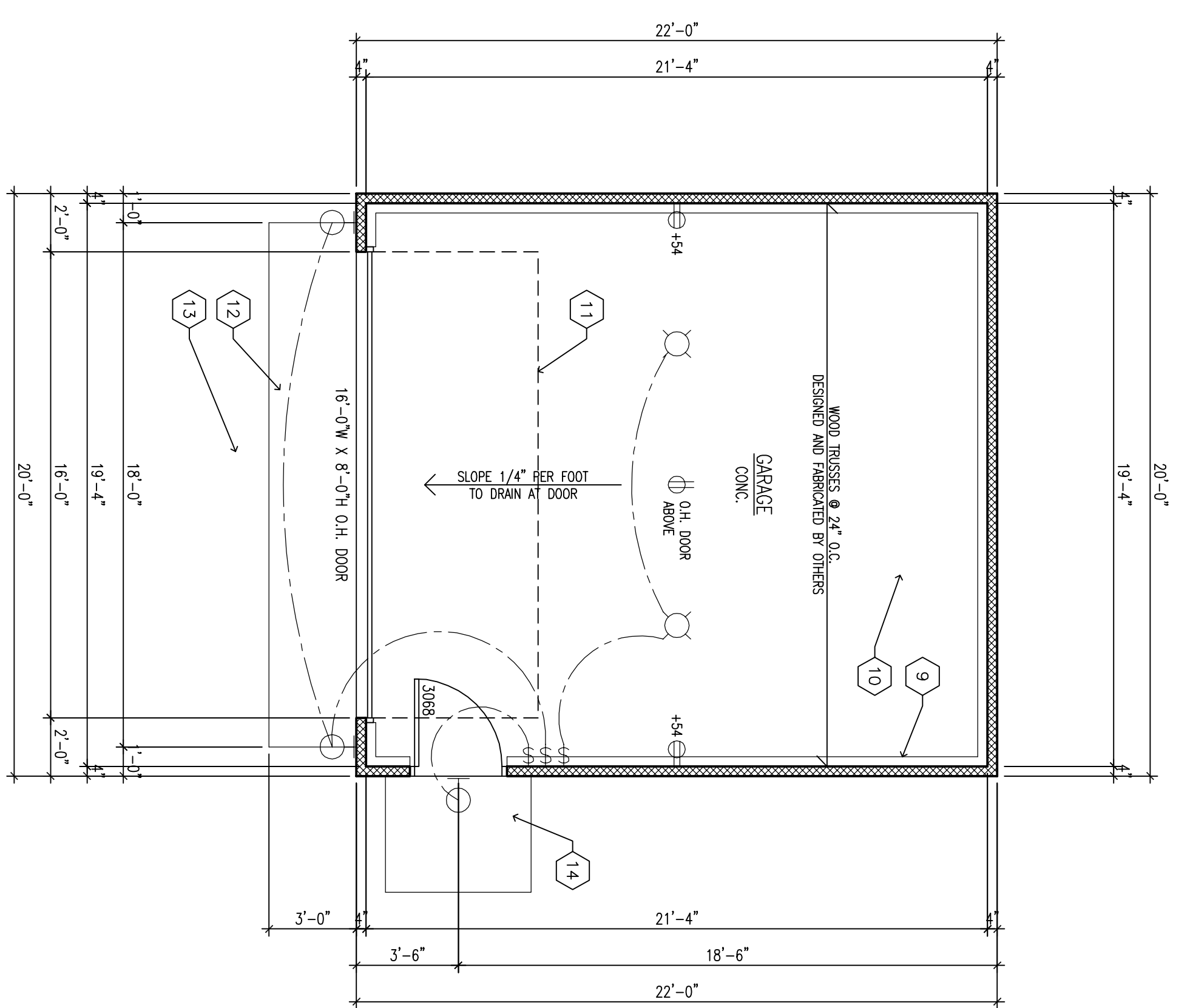
PROPOSED SITE PLAN
 SCALE: 1" = 10'

NEW TWO-CAR GARAGE Single Family Residence 9368 Sonora Avenue St. Louis, MO 63144 PROPOSED SITE PLAN	ISSUES / REVISIONS : <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>			NO.	DATE	REMARKS												
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PROJECT NUMBER Z0019	bradley collins, llc architecture 131 east drake avenue st. louis, mo 63119 phone: 314.968.2899 or 314.402.7265 www.bradley-collins.com																	
PROJECT PHASE ABG SUBMITTAL	SEAL CERTIFICATE OF AUTHORITY MISSOURI LIC. #2014008379 BRADLEY COLLINS PETISSION MISSOURI LIC. #008855																	
DRAWN BY: BCP	DATE: 03.17.2021																	
CHECKED BY: BCP	SHEET NO.																	
A1	1 OF 3																	

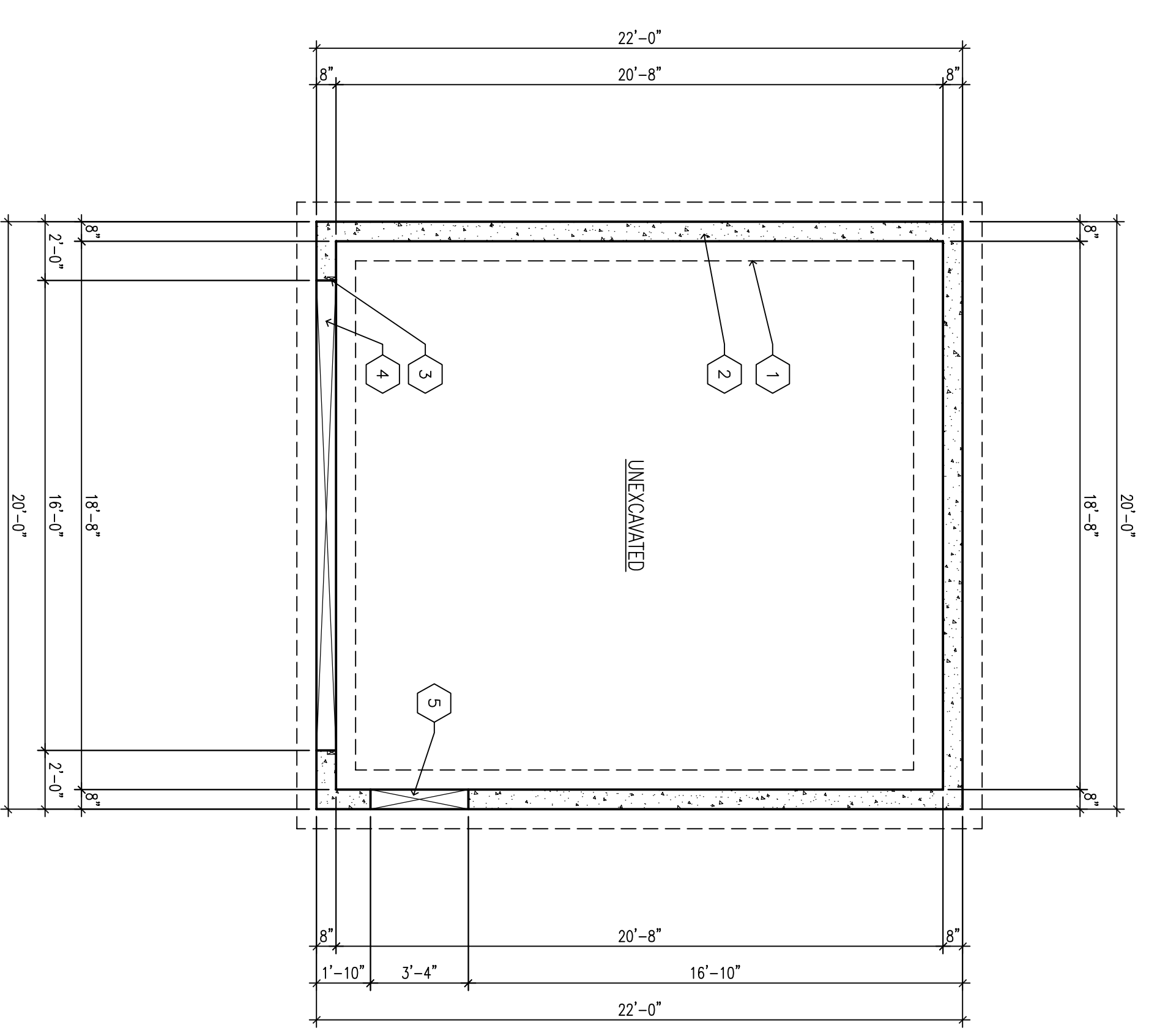
ISSUES / REVISIONS :		
NO.	DATE	REMARKS

NEW TWO-CAR GARAGE	PROJECT NUMBER 20019
Single Family Residence 9368 Sonora Avenue St. Louis, MO 63144	PROJECT PHASE RFP SUBMITTAL
PROPOSED PLANS	DRAWN BY: BCP
	CHECKED BY: BCP
	DATE: 03.17.2021
	SHEET NO. 2 OF 3

ELECTRICAL SYMBOLS LEGEND	
⊖	DUPLEX ELECTRICAL RECEPTACLE
⊖ ^{ED}	DUPLEX ELECTRICAL RECEPTACLE (DED ^{ED} INDICATES DEDICATED OUTLET)
⊖ ^{GFIC}	DUPLEX ELECTRICAL RECEPTACLE (GROUND FAULT CIRCUIT INTERRUPTOR)
⊖ ^{DISP}	ELECTRICAL RECEPTACLE - INSTALL AS REQUIRED FOR DISPOSAL
⊖ [#]	DUPLEX ELECTRICAL RECEPTACLE (# INDICATES CENTER LINE LOCATION ABOVE FINISHED FLOOR IN INCHES)
⊖ ^{220V}	220V ELECTRICAL RECEPTACLE
⊖	QUAD/DUPLEX ELECTRICAL RECEPTACLE
⊖	RECESSED FLOOR DUPLEX ELECTRICAL RECEPTACLE LOCATED AT CENTER OF EACH ROOM IN EACH DIRECTION
◀	DATA/TELEPHONE OUTLET
⬛	ELECTRIC PANEL
ELECTRICAL OUTLET NOTE: DUPLEX OUTLETS LOCATED ON OPPOSITE SIDES OF THE SAME WALL SHALL NOT BE LOCATED IN THE SAME WALL CAVITY.	



2 FLOOR PLAN
 SCALE 3/16" = 1'-0"
 N



1 FOUNDATION PLAN
 SCALE 3/16" = 1'-0"
 N

FOUNDATION PLAN AND FLOOR PLAN KEYED NOTES

- THIS SHEET ONLY (X) (SHOW THIS TYPICAL)
- (1) REINFORCED CONCRETE FOOTING (SHOWN DASHED)
 - (2) REINFORCED CONCRETE FOUNDATION WALL
 - (3) HOLD DOWN SLAB AT OVERHEAD DOOR OPENING. VERIFY OPENING SIZE.
 - (4) TREATED WOOD BLOCKING AS REQUIRED FOR OVERHEAD DOOR TRACK INSTALLATION.
 - (5) HOLD DOWN SLAB AT ENTRY DOOR OPENING. VERIFY OPENING SIZE.
 - (6) NOT USED.
 - (7) NOT USED.
 - (8) NOT USED.
 - (9) REINFORCED CONCRETE FOUNDATION - SEE WALL SECTION.
 - (10) REINFORCED CONCRETE SLAB - SEE WALL SECTION.
 - (11) LINE OF OVERHEAD DOOR ABOVE.
 - (12) NEW PORTION ASPHALT DRIVE W/ GRAVEL BASE BELOW TO MATCH EXISTING ASPHALT DRIVE.
 - (13) EXISTING ASPHALT DRIVE.
 - (14) 4'-0" X 5'-0" W CONCRETE PAD - SEE GENERAL NOTES.
- NOTE: ALL DRIVING, RIMP CONCREMENTS, REPAIRS AND PATCHES SHALL BE MATCHED TO THOSE OF THE NEW HOUSE ADDITION.

SEAL
 CERTIFICATE OF AUTHORITY
 MISSOURI LIC. #2014008379
 BRADLEY COLLINS PETERSON
 MISSOURI LIC. #006885

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 131 east drake avenue
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 phone: 314.968.2899 or 314.402.7265
 www.bradley-collins.com

ISSUES / REVISIONS :		
NO.	DATE	REMARKS

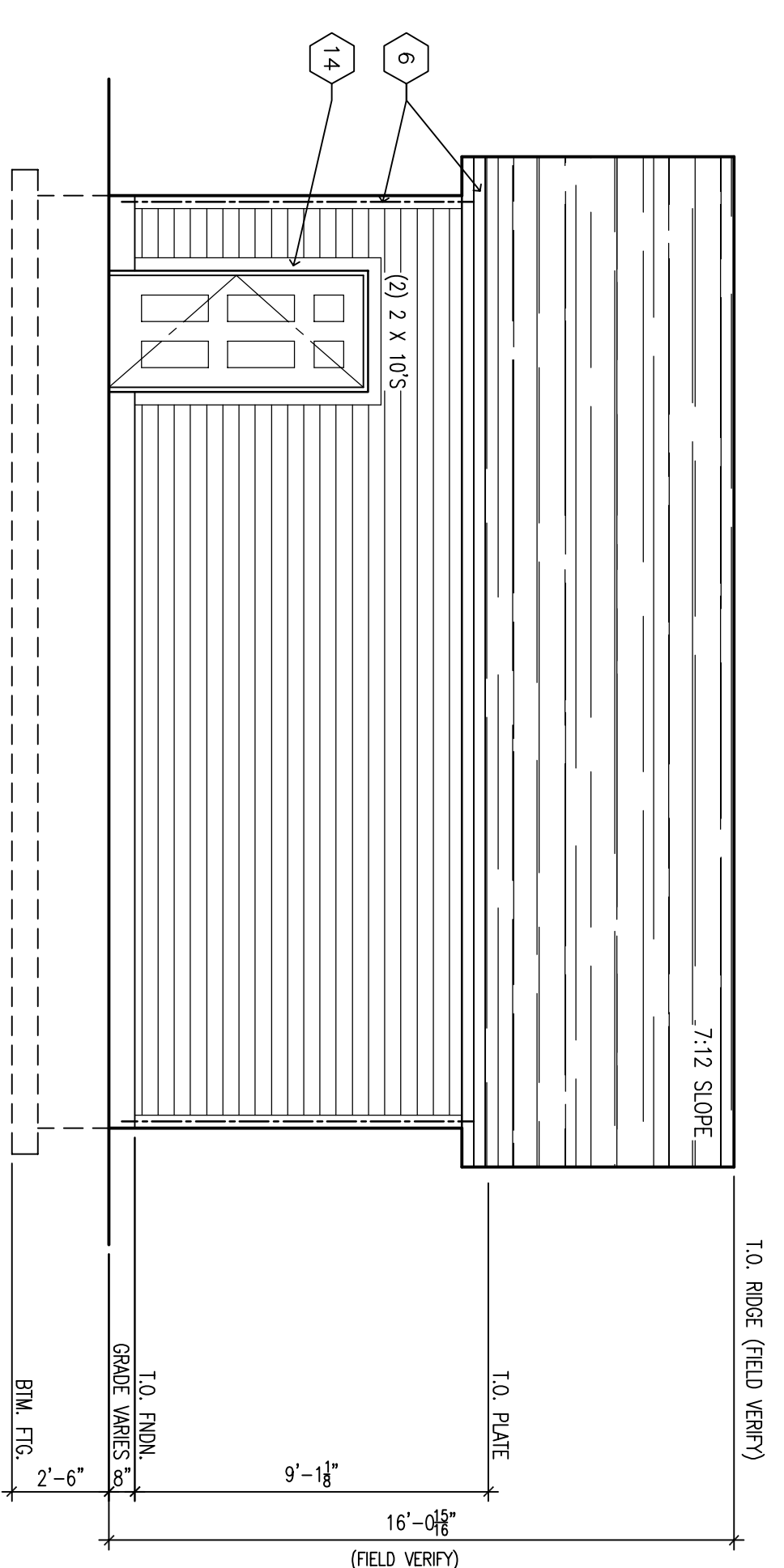
NEW TWO-CAR GARAGE
Single Family Residence 9368 Sonora Avenue St. Louis, MO 63144
PROPOSED ELEVATIONS
PROJECT NUMBER 20019
PROJECT PHASE ARB SUBMITTAL
DRAWN BY: BCP
CHECKED BY: BCP
DATE: 03.17.2021
SHEET NO.

**ELEVATION
 KEYED NOTES**

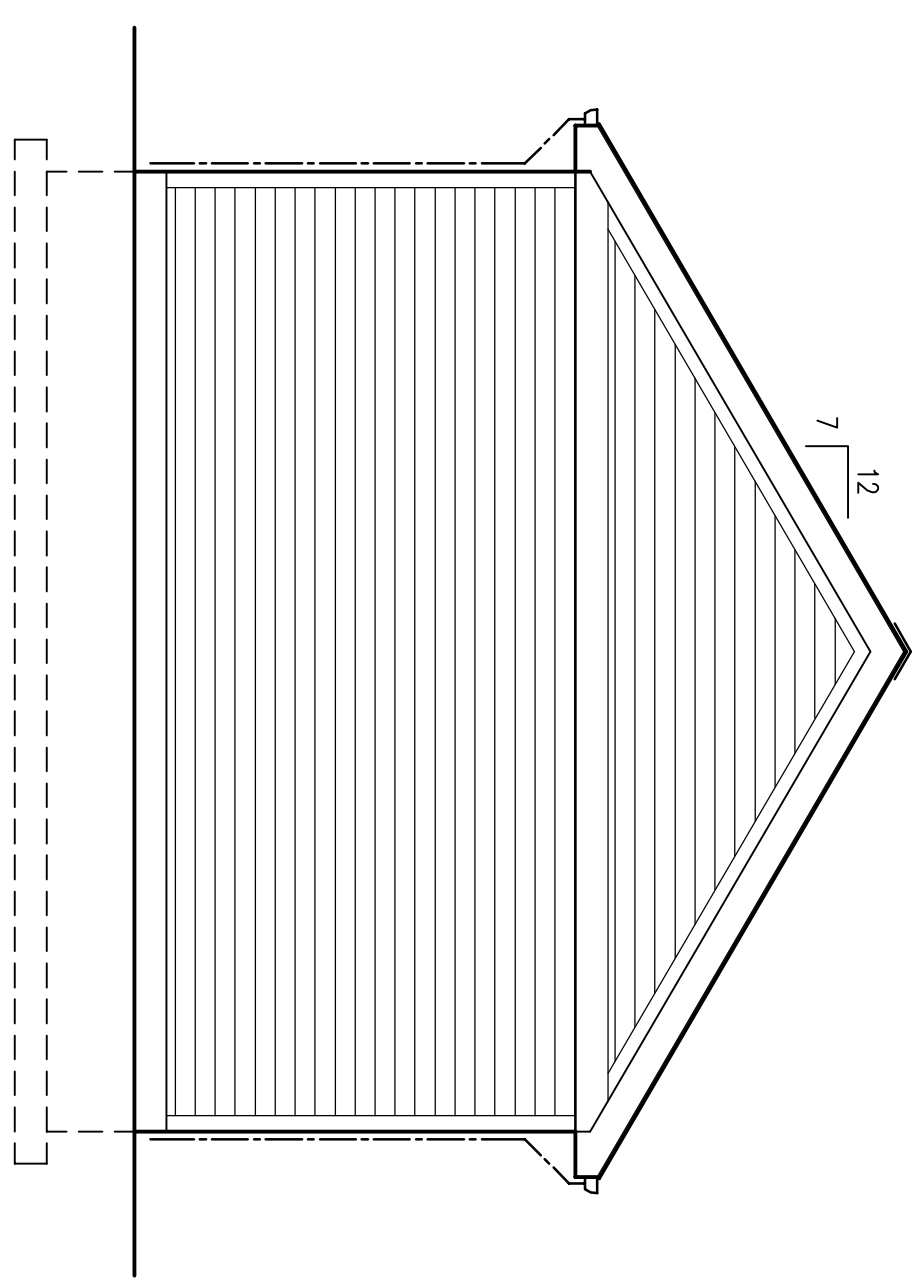
- ① RAKE BOARD.
- ② RAKE BOARD TRIM.
- ③ 9 1/4" BANDBOARD AND TRIM BY "HARD".
- ④ 4" CORNER TRIM BY "HARD".
- ⑤ 5" SMOOTH LAP SIDING BY "HARD".
- ⑥ 4" HARD TRIM AT DOOR SURROUND.
- ⑦ CONCRETE FOUNDATION WALL (EXPOSED).
- ⑧ GRADE VARIES.
- ⑨ CONCRETE FOUNDATION AND CONCRETE FOOTING - BELOW GRADE (SHOWN DASHED).
- ⑩ RIDGE VENT - CONTINUOUS.
- ⑪ GUTTER BOARD, GUTTER AND DOWNSPOUT.
- ⑫ OVERHEAD DOOR.
- ⑬ FIBERGLASS/ASPHALT SHINGLES OVER 1-LAYER 15# ROOF FELT.
- ⑭ ENTRY DOOR WITH ENTRY LOCKSET.

GENERAL NOTES

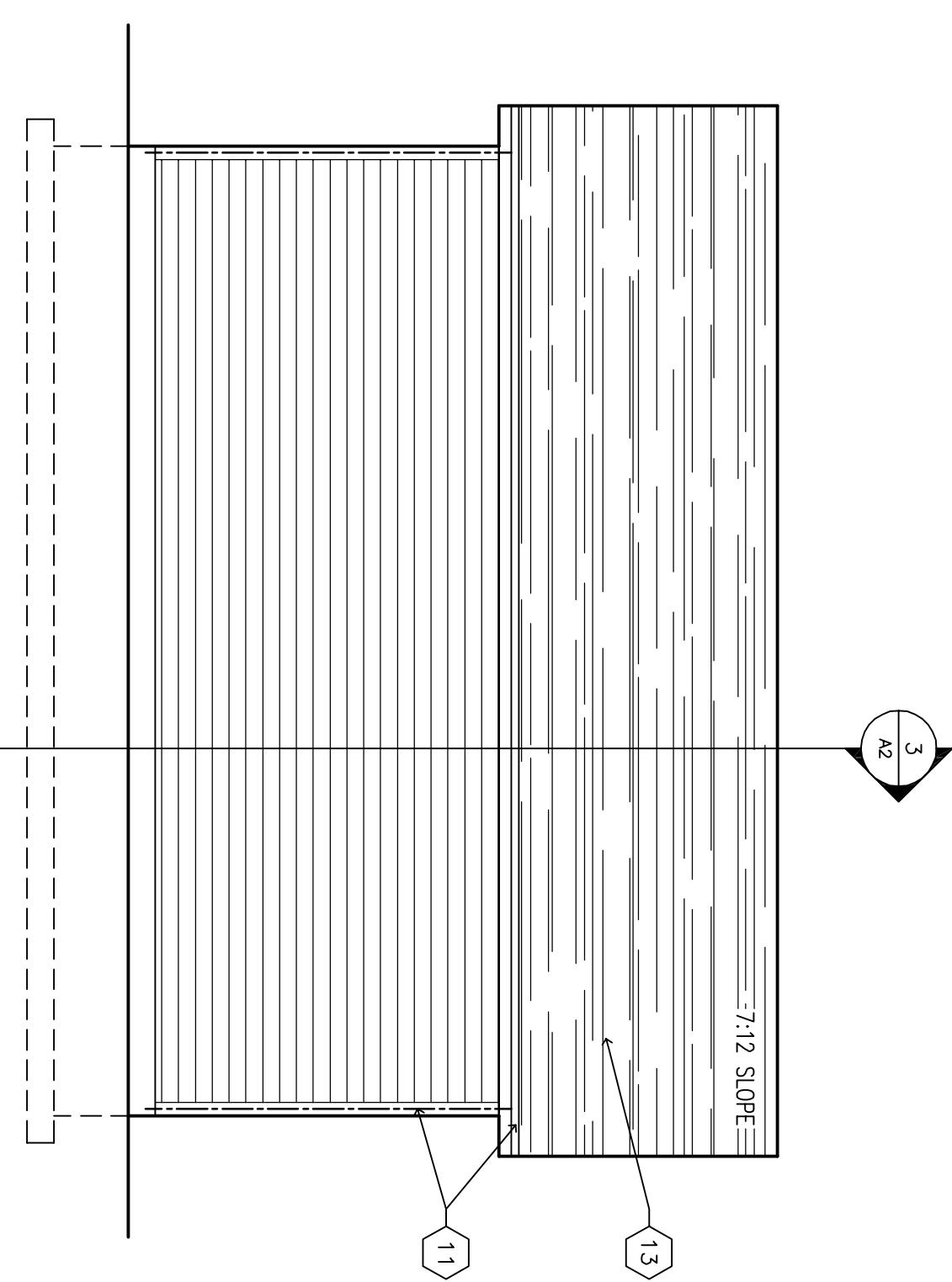
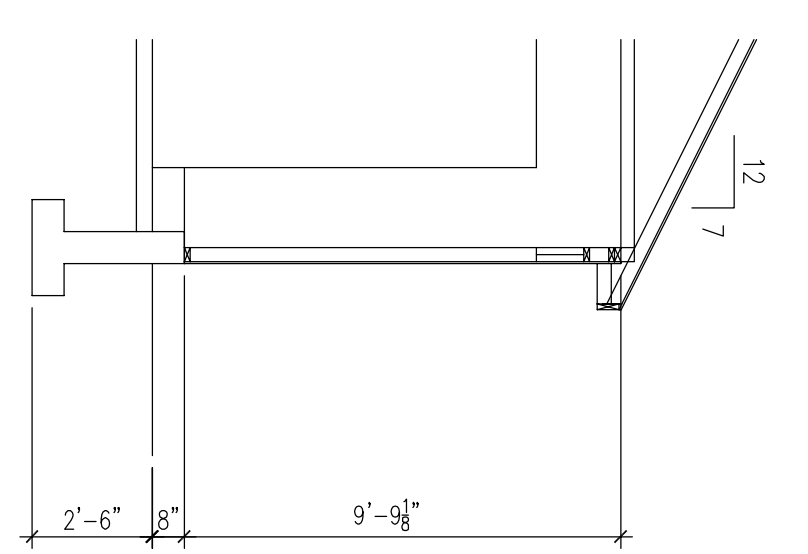
- 1. RELEASE OF PLANS BY ARCHITECT OBLIGATE THE OWNER AND CONTRACTOR TO REVIEW PLANS FOR CONFORMANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND ORDINANCES, AND TO REPORTING AND DISCUSSING WITH THE ARCHITECT ANY AND ALL PERMISSIBLE OR ACTUAL PROBLEMS THEY FIND IN THE PLANS. ANY FAILURE ON THE PART OF THE OWNER AND/OR CONTRACTOR TO IMMEDIATELY REPORT OR DISCUSS SUCH PROBLEMS WITH THE ARCHITECT WILL RELIEVE ARCHITECT FROM ANY AND ALL LIABILITY FOR ANY SUBSEQUENT CHANGES, CONSTRUCTION DELAYS, OR OTHER ISSUES THAT MAY BE CAUSED BY SUCH FAILURE.
- 2. ALL EXPOSED WOOD ON ANY FACADE IS TO BE PRIME AND PAINTED PRIOR TO INSTALLATION.
- 3. SEE OTHER SHEETS FOR ADDITIONAL GENERAL NOTES.
- 4. PROPERTY BOUNDARIES AS REQUIRED BY GENERAL NOTES.
- 5. SEE OTHER SHEETS FOR ADDITIONAL GENERAL NOTES.
- 6. PROPERTY BOUNDARIES AS REQUIRED BY GENERAL NOTES.



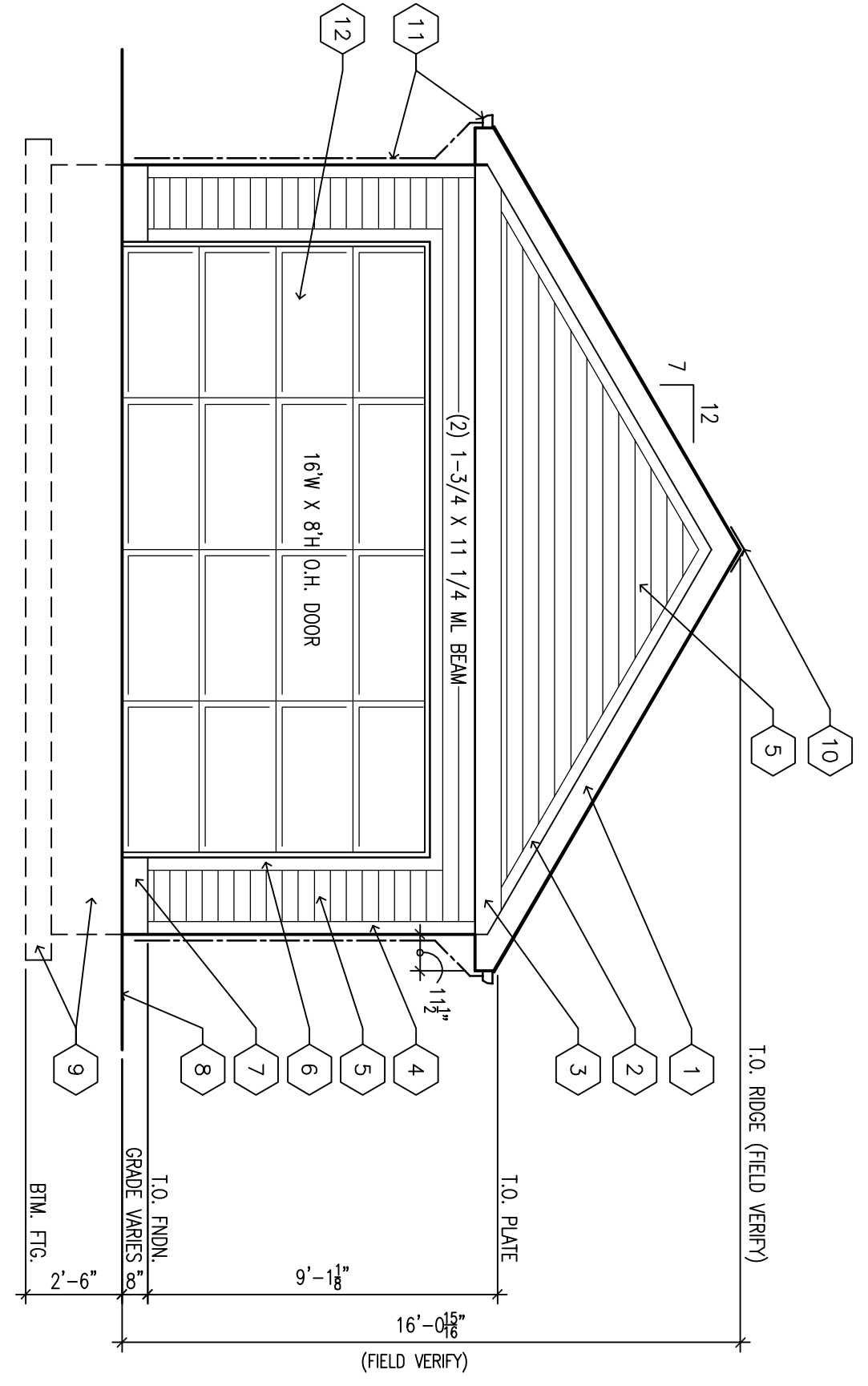
④ WEST ELEVATION
 SCALE 1/4" = 1'-0"



③ SOUTH ELEVATION
 SCALE 3/16" = 1'-0"



② EAST ELEVATION
 SCALE 1/4" = 1'-0"



① NORTH ELEVATION
 SCALE 3/16" = 1'-0"