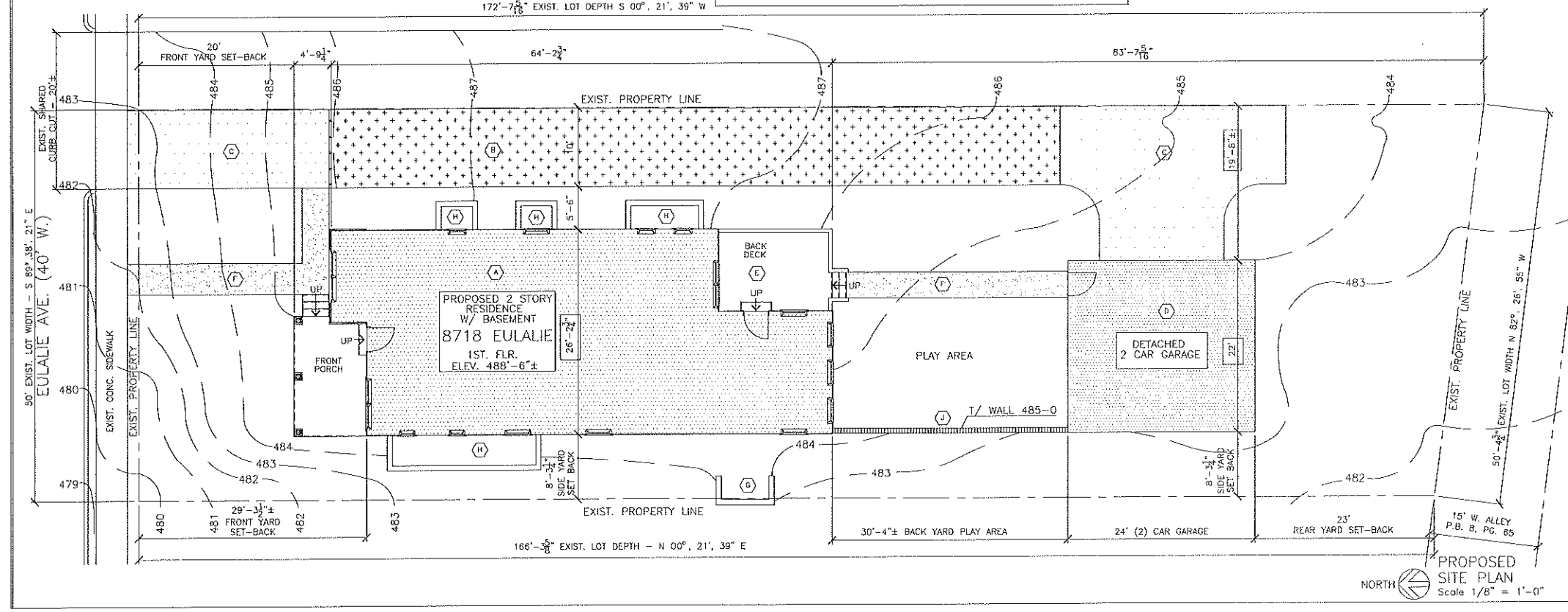


- EXIST. SITE PLAN - KEYED DEMOLITION NOTES**
- D-1 EXIST. 1 STORY FRAME HOUSE (8718 EULALIE) TO BE DEMOLISHED
 - D-2 EXIST. CONC. PORCH, TO BE REMOVED
 - D-3 EXIST. PAVED DRIVEWAY, TO BE REMOVED
 - D-4 EXIST. DETACHED GARAGE STRUCTURE TO BE DEMOLISHED
 - D-5 EXIST. CONC. PAVED WALKWAYS TO BE REMOVED
 - D-6 EXIST. TREE - TO BE REMOVED
 - D-7 EXIST. DRAINAGE STRUCTURE TO REMAIN AS IS

- PROPOSED SITE PLAN - KEYED NOTES**
- A AREAS SHADDED THUSLY INDICATE PROPOSED NEW RESIDENCE, 8718 EULALIE. SEE SHEETS A-1 & A-2 FOR PLANS
 - B AREAS SHADDED THUSLY INDICATE PROPOSED NEW "PERMEABLE PAVEMENT" DRIVEWAY SURFACE, AS RECOMMENDED BY CONTRACTOR
 - C AREAS SHADDED THUSLY INDICATE PROPOSED NEW CONC. PAVED DRIVEWAY SURFACE
 - D AREAS SHADDED THUSLY INDICATE PROPOSED NEW 2 CAR GARAGE (SEE SHEET A-5 FOR RELATED NOTES)
 - E AREAS SHADDED THUSLY INDICATE PROPOSED BACK DECK (SEE SHEET A-1 FOR RELATED NOTES)
 - F AREAS SHADDED THUSLY INDICATE THE EXTENT OF NEW CONC. WALKWAYS & STEPS (AS REQ'D TO ACCOMMODATE CONTOURS)
 - G EXISTING DRAINAGE STRUCTURE TO REMAIN AS IS
 - H PROVIDE WINDOW WELLS AT BASEMENT WINDOWS AS RECOMMENDED BY THE CONTRACTOR
 - I AREA SHADDED THUSLY INDICATES EXTENT OF NEW RETAINING WALL, AS RECOMMENDED BY THE CONTRACTOR

PROPOSED EXTERIOR COLORS
SEE BUILDING ELEVATIONS SHEET A-4 FOR EXTERIOR COLOR KEY

EXIST. SITE PLAN SHOWING DEMOLITION
Scale 1/8" = 1'-0"



TYPICAL ABBREVIATIONS

A	AREA OR ANGLE	J	JOINT
AC	AIR CONDITIONING	K	KNOCK OUT
AD	AREA DRAIN	KS	KLUDGE SPACE
ALUM	ALUMINUM	L	LAVATORY
AP	ACCESS PANEL	LAV	LINEAR FOOT OR FEET
APT	APARTMENT	LP	LOW POINT
B	BULKHEAD BOARD	LT	LIGHT
BC	BASE CABINET	M	MASONRY
BD	BOARD	MAS	MASONRY
B/O	BOTTOM OF FOOTING	MCH	MECHANICAL
BL	BRICK LEDGE	MT	METAL
BM	BEAM	MH	MOUNTING HOLE
BO	BY OTHERS	M.O.	MASONRY OPENING
BRK	BRICK	N	NOT IN CONTRACT
C	CENTER TO CENTER	NTS	NOT TO SCALE
C-C	CENTER LINE	O	ON CENTER
C-L	CENTER LINE	OD	OUTSIDE DIAMETER
CL	COURING JOINT	P	PAINT
C.O.	CLEAN OUT	P.D.	POCKET DOOR
CONC	CONCRETE	PL	PROPERTY LINE
CS	CARPET	PLY	PLYWOOD
CT	CERAMIC TILE	PP	POWER POLE
CY	CUBIC YARD	PR	PARK
D	DRIVER (CLOTHES)	PT	POINT
DB	DRAWER BASE CABINET	PTD	PAPER TOWEL DISPENSER
DD	DOOR	Q	QUARTER
D.D.	DOUBLE OVEN	R	RESILIENT BASE
DP	DOWNSPOUT	RD	ROUND
DR	DRAIN	REF	REFRIGERATOR
DRW	DRAWER	RN	ROUGH OPENING
DW	DISH WASHER	R.O.	ROUGH OPENING
E	EXISTING	ROW	RIGHT OF WAY
EF	EXHAUST FAN	S	SOAP DISPENSER
EJ	EXPANSION JOINT	S.F.	SQUARE FOOT OR FEET
ELEC	ELECTRIC	S.I.	SQUARE INCH
ENG	ENGINEER	SK	SINK
EP	ELECTRIC PANEL	SL	STEEL
EQ	EQUAL	SV	SHEET VEIL
EXT	EXTERIOR	SWCH	SWITCH
F	FLOOR DRAIN	S.Y.	SQUARE YARD
FE	FIRE EXTINGUISHER	T	TAGEL BAR
FF	FIRE EXTINGUISHER	TBR	TO BE REMOVED
FLR	FLOOR	TPD	TOILET PAPER DISPENSER
FLOR.	FLOURESCENT	U	UNDER GROUND
PHOT.	FOUNDATION	UL	UNDERMINER LABORATORY
FT	FOOT OR FEET	UND	UNLESS NOTED OTHERWISE
F.V.	FIELD VERIFY	UV	ULTRA VIOLET
G	GRAB BAR	V	VEIN
G.C.	GENERAL CONTRACTOR	VB	VEIN BASE
G.D.	GARAGE DISPOSAL	VCT	VEIN COMPOSITION TILE
GF	GROUND FAULT INTERRUPT	W	WASHER (CLOTHES)
GL	GLASS	WC	WATER CLOSET (TOILET)
GR	GRADE	WH	WALL CHASE
GYP	GYPSUM	WD	WOOD
H	HOSE BIB	WH	WROTH
HC	HOLLOW CORE	WH	WATER HEATER
HGT	HIGH POINT	W/O	WITHOUT
HM	HOLLOW METAL	W/SC	W/STIC
HP	HIGH POINT	WP	WEATHER PROOF
HR	HOUR	WT	WEIGHT
HVAC	HEATING, VENTILATING & AIR CONDITIONING	W/F	WELDED WIRE FABRIC
I	INSIDE DIMENSION	Y	YARD DRAIN
IND	INDICATED	YD	YARD
INT	INTERIOR		

- SITE PLAN GENERAL NOTES**
- THE SITE PLAN SHOWN IS BASED UPON MISSOURI STANDARDS BOUNDARY & IMPROVEMENT SURVEY, LOT 13 IN BLOCK 1 OF WATSONIA PLAT BOOK 8, PAGE 68, CITY OF BREWSTER, MISSOURI, PRODUCED BY PITZMAN CO. OF SURVEYORS & ENGINEERS, 2725 SUTTON BLVD. ST. LOUIS, MO. 63143. SIGNED AND SEALED BY: WILLIAM K. BERTHOLD REGISTERED LAND SURVEYOR LICENSE NO. 15-2019 DATED JUNE 26, 2020
 - THE PROPERTY "8718 EULALIE AVE." IS CURRENTLY OWNED BY THREE DOORS CONSTRUCTION, L.L.C.
 - THE SITE LOCATION NUMBER IS 21K521513, BOOK 2386B, PAGE 1795. SEE SITE COVERAGE INFORMATION BELOW FOR AREA OF SITE.
 - THE SITE CONTOUR ELEVATIONS ARE APPROXIMATE REPRESENTATIONS OF THE CONTOURS INDICATED ON THE BOUNDARY & IMPROVEMENT SURVEY.
 - SEE BOUNDARY & IMPROVEMENT SURVEY FOR EXIST. UTILITY LOCATIONS. MODIFY AS REQ'D TO ACCOMMODATE PROPOSED CONSTRUCTION.

SITE COVERAGE INFORMATION

TOTAL AREA OF PROPERTY	8,475 ± SQ. FT.
FOOTPRINT OF: PROPOSED RESIDENCE	1,465 ± SQ. FT.
2 CAR GARAGE	530 ± SQ. FT.
IMPERVIOUS SURFACES	
• DRIVEWAY PAVING	700 ± SQ. FT.
• WALKS & OTHER PAVING	325 ± SQ. FT.
TOTAL AREA OF BUILDINGS AND OTHER IMPERVIOUS SURFACES	3,020 ± SQ. FT.
PERCENTAGE OF SITE COVERAGE	36 %

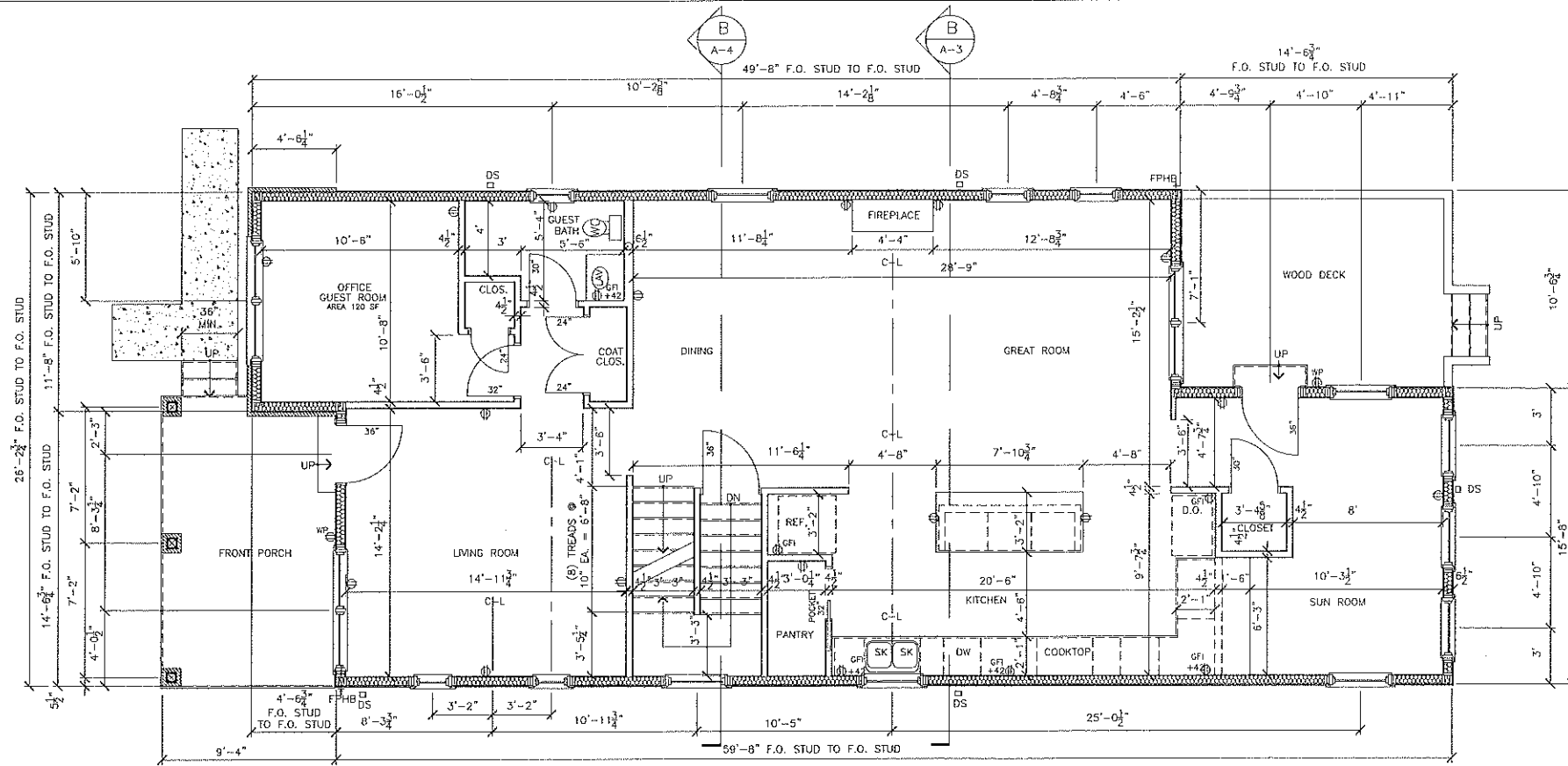
DRAWING INDEX

DESIGNATION	PAGE
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A-1 BASEMENT & FIRST FLOOR PLAN	2 OF 6
A-2 SECOND FLOOR & ROOF PLANS	3 OF 6
A-3 BLDG. ELEVATIONS & SECTIONS	4 OF 6
A-4 BLDG. ELEVATIONS & SECTIONS	5 OF 6
A-5 DETACHED GARAGE PLANS & ELEVATIONS	6 OF 6

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CONTRACTOR: THREE DOORS CONSTRUCTION
CONTACT: JASON SHAWVER
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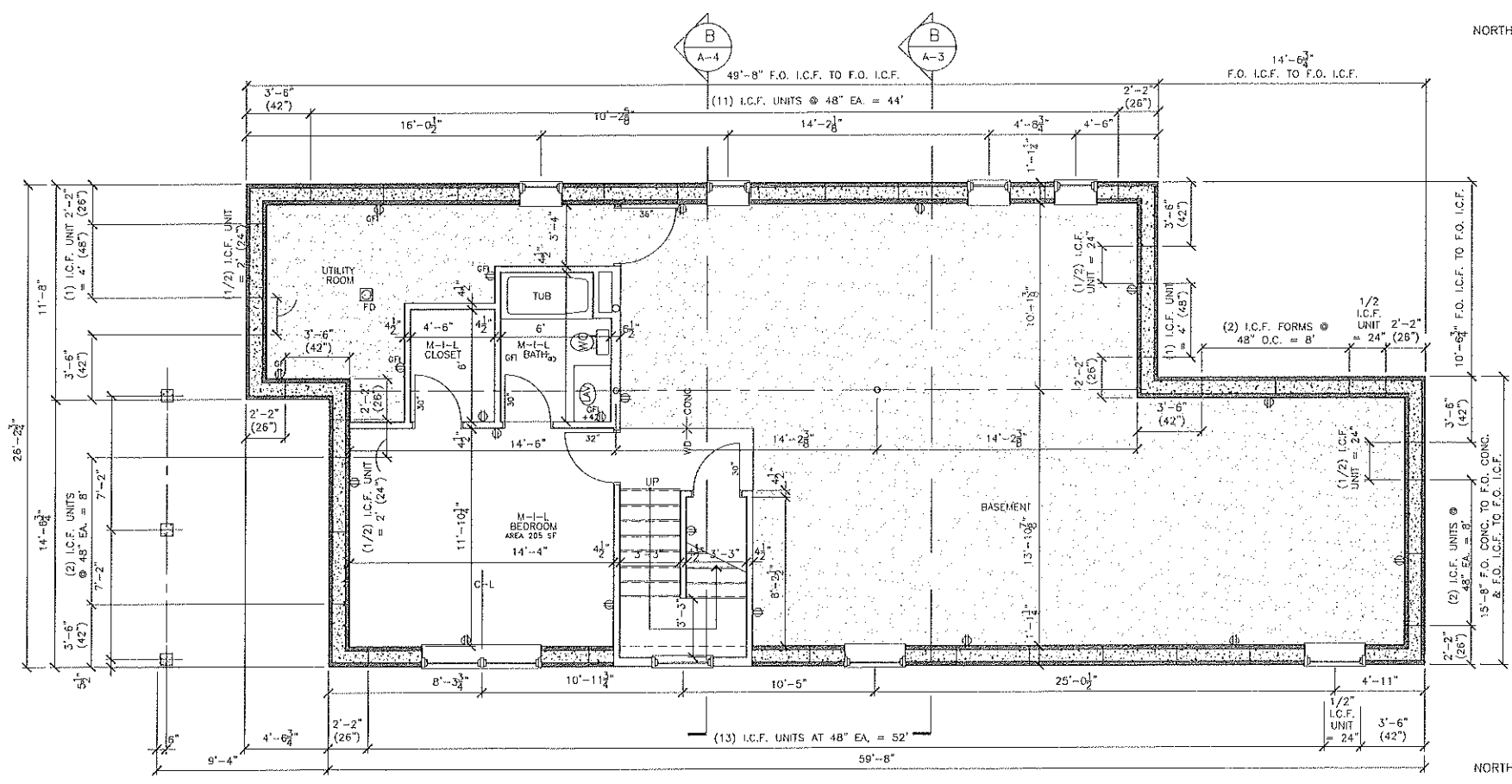


FLOOR PLAN GENERAL NOTES

- 1 INTERIOR FINISHES AND COLORS SHALL BE SELECTED BY THE CONTRACTOR.
- 2 SEE SHEET A-2, FOR TYPICAL FLOOR PLAN SYMBOLS.

AREA CALCULATIONS
 FIRST FLOOR HABITABLE AREA 1,440 SF

FIRST FLOOR PLAN
 Scale 1/4" = 1'-0"



AREA CALCULATIONS
 BASEMENT HABITABLE AREA 1,235 SF

BASEMENT FLOOR PLAN
 Scale 1/4" = 1'-0"

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A-1

TYPICAL FLOOR PLAN SYMBOLS

FOUNDATION WALL ASSEMBLY:
 CONSISTING OF "INSULATED CONCRETE FORM" (I.C.F.) UNITS 13-1/4" THICK WITH E.P.S. FOAM SIDES (2-5/8" THICK) FABRICATED W/ INTERNAL BRACING DESIGNED TO RECEIVE CAST-IN-PLACE CONC. CORES (8" THICK) AND STEEL REINFORCING BARS. FORMS CAN RECEIVE INTERIOR FINISHES OF 1/2" GYP. BD. ATTACHED TO INTERNAL BRACING, AND EXTERIOR FINISHES OF OTHER EXT. SIDING, CEMENT PLASTER SKIN COATS OR WATER-PROOF COATING (FOR BELOW GRADE USE) PRODUCTS MANUFACTURED BY "FOX BLOCKS" AS SELECTED BY THE CONTRACTOR WILL BE USED.

FOUNDATION WALL ASSEMBLY:
 CONSISTING OF "CONVENTIONAL" 8" THICK CAST-IN-PLACE CONC. FOUNDATION.

EXTERIOR WALLS, CONSISTING OF
 2 X 6 STUD FRAMING 16" O.C. W/ 7/16" OSB" EXT. GR. SHEATHING AND EXT. SIDING (AS SELECTED BY THE CONTR.) W/ R-19 BATT INSUL. INSERTS AND 1/2" GYP. BD. INTERIOR FINISH. TOTAL R VALUE = 20 ±

EXTERIOR WALLS, CONSISTING OF
 2 X 6 STUD FRAMING 16" O.C. W/ 7/16" OSB" EXT. GR. SHEATHING AND EXT. MASONRY VENEER PANELS (AS SELECTED BY THE CONTR.) W/ R-19 BATT INSUL. INSERTS AND 1/2" GYP. BD. INTERIOR FINISH. TOTAL R VALUE = 20 ±

INTERIOR PARTITIONS, CONSISTING OF
 2 X 4 STUD FRAMING 16" O.C. (OR 2 X 6 STUDS FRAMING AT PLUMB'G WALLS) W/ 1/2" GYP. BD. FINISH EACH SIDE.

NEW INTERIOR DOORS AND FRAMES
 DOOR WIDTH x 6'-8" HIGH

KEYED PLAN NOTE

WD * CT TRANSITION IN FLOOR FINISH

AREAS SHADED THUSLY INDICATE THE EXTENT OF EXTERIOR CONCRETE PAVED SURFACES

AREAS SHADED THUSLY INDICATE THE EXTENT OF INTERIOR EXPOSED CONCRETE SURFACES

AREAS SHADED THUSLY INDICATE THE EXTENT OF SLOPED SHINGLED ROOF SURFACES

AREAS SHADED THUSLY INDICATE THE EXTENT OF METAL OUTLERS

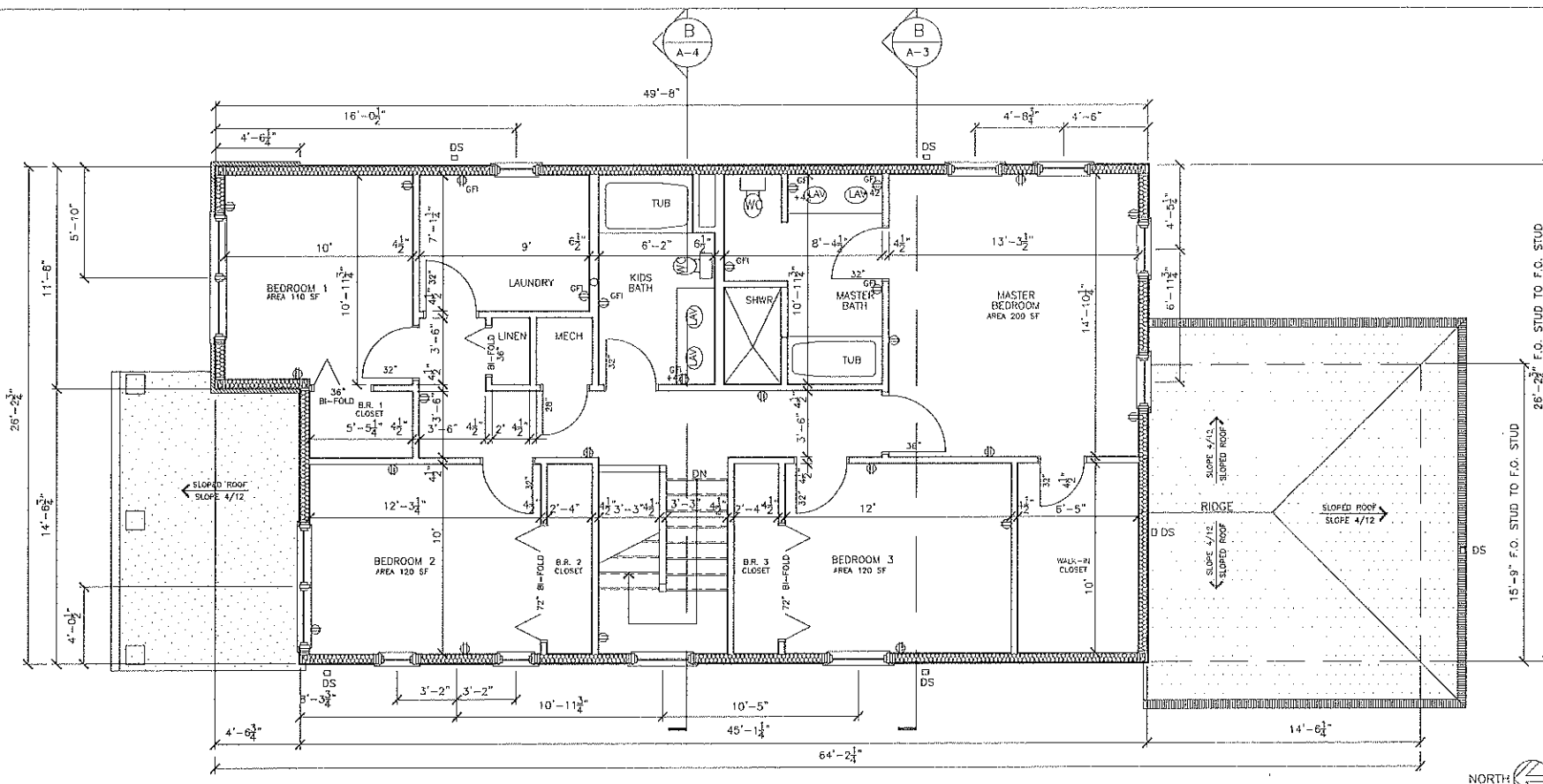
ELECTRICAL COMPONENTS FLOOR PLAN SYMBOLS
 (O.C. NOTE: LOCATIONS SHOWN ON PLANS ARE ARCHITECT'S RECOMMENDATIONS ONLY. ELEC. SUBCONTRACTOR TO COORDINATE W/ OWNER ON FINAL LOCATIONS)

⊕ ELECTRICAL CONVENIENCE OUTLETS, TYPICALLY MOUNTED 12" A.F.F.

⊕ GFI DESIGNATES GFI OUTLET

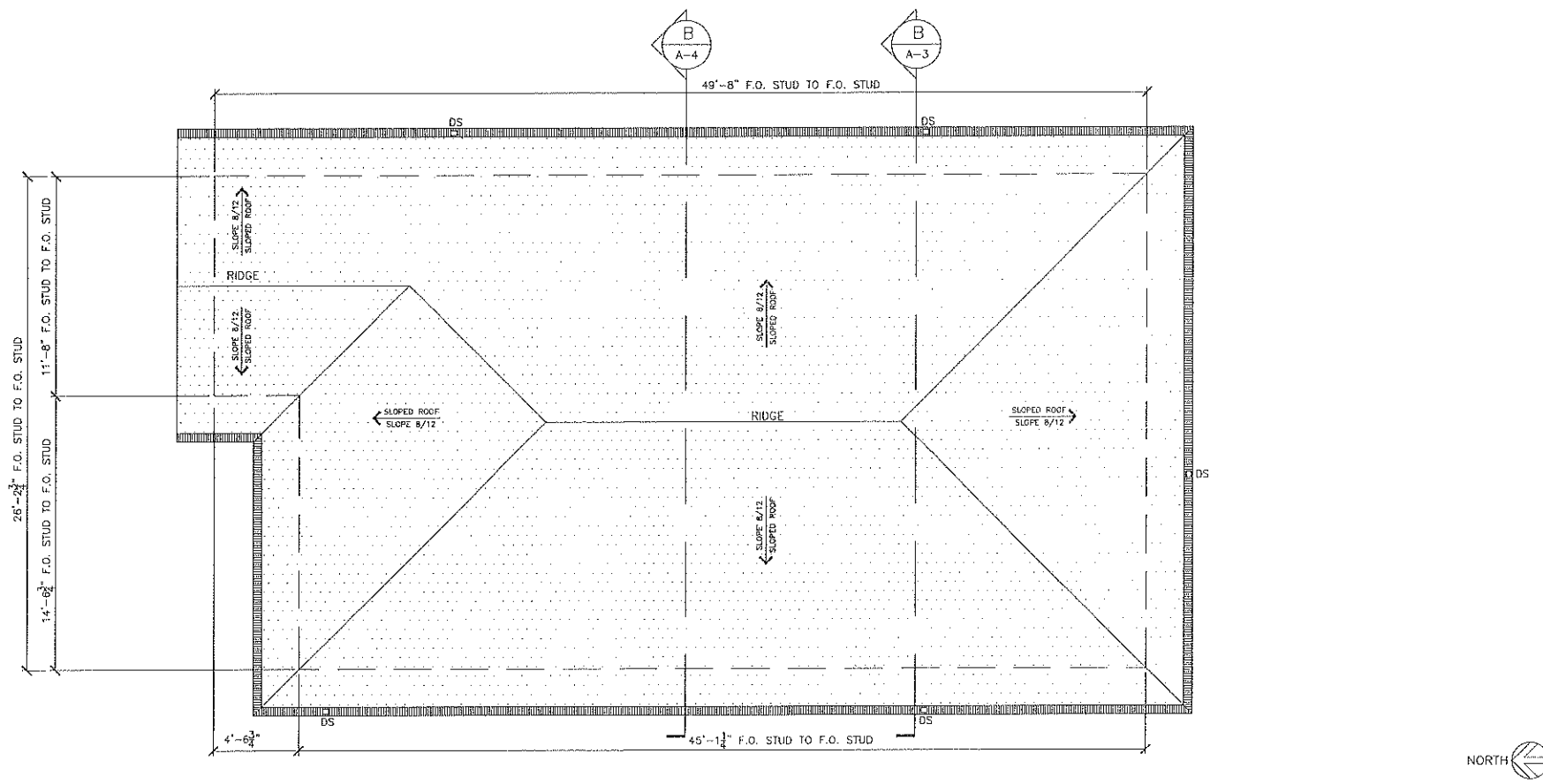
⊕ +42 DESIGNATES INSTALLED 42" A.F.F.

⊕ WP DESIGNATES WEATHER-PROOF (EXTERIOR) OUTLET



FLOOR PLAN GENERAL NOTES

- 1 INTERIOR FINISHES AND COLORS SHALL BE SELECTED BY THE CONTRACTOR.
- 2 SEE SHEET A-2, FOR TYPICAL FLOOR PLAN SYMBOLS.



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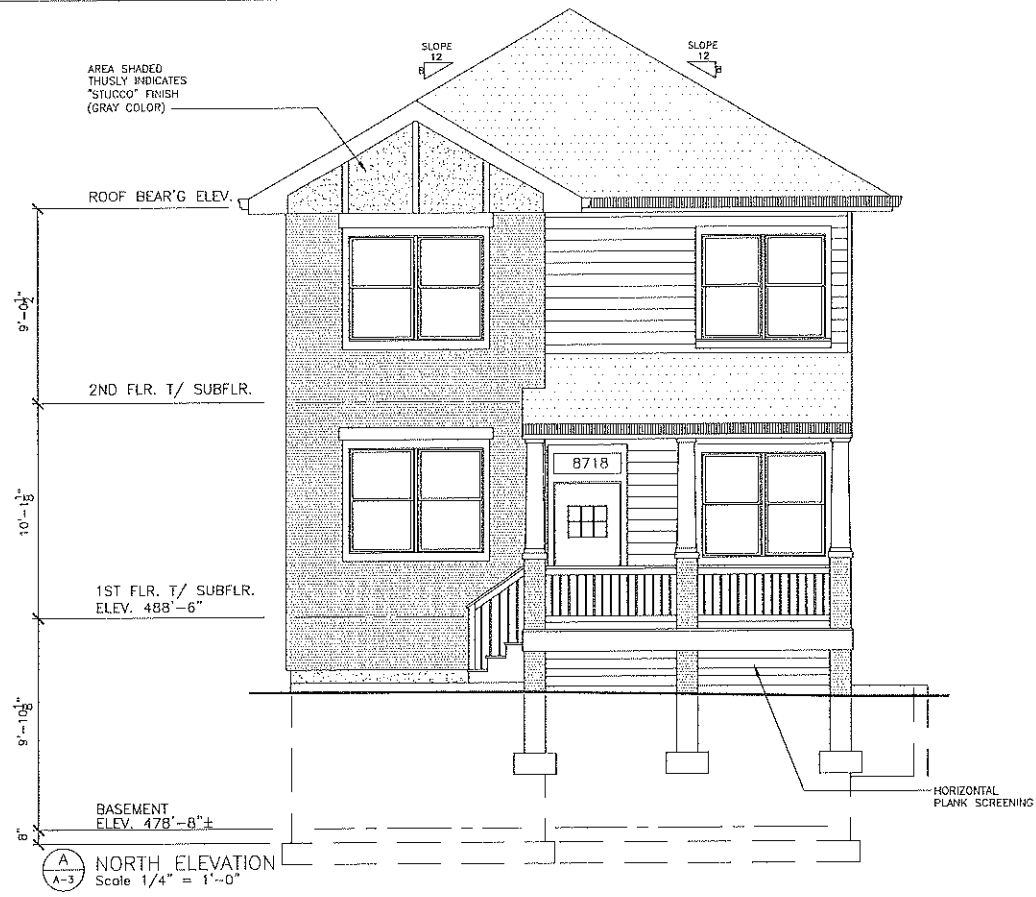
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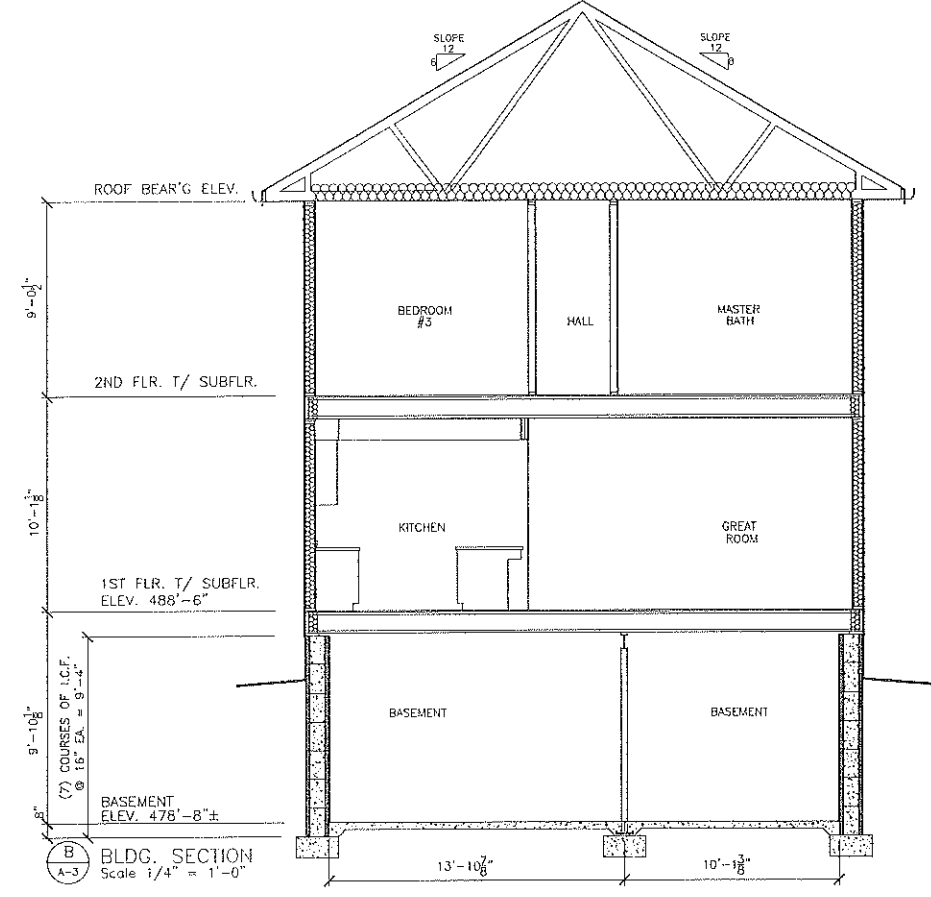
NORTH ELEVATION
Scale 1/4" = 1'-0"

BUILDING ELEVATION & BUILDING SECTION GENERAL NOTES

1. EXTERIOR FINISH COLORS SHALL BE AS NOTED ON THE COVER SHEET.
2. SEE SHEET A-3 FOR TYPICAL BUILDING ELEVATIONS & BUILDING SECTION SYMBOLS.

TYPICAL BUILDING ELEVATION & BUILDING SECTION SYMBOLS

- AREAS SHADED THUSLY INDICATE THE EXTENT OF SLOPED SHINGLED ROOF SURFACES
- AREAS SHADED THUSLY INDICATE THE EXTENT OF METAL GUTTERS
- AREAS SHADED THUSLY INDICATE THE EXTENT OF EXTERIOR LAP SIDING, CONSISTING OF L.P. SIDING (AS SELECTED BY THE CONTRACTOR) WITH 5-1/2" LAP EXPOSURE
- AREAS SHADED THUSLY INDICATE THE EXTENT OF MASONRY VENEER CLADDING (AS SELECTED BY THE CONTRACTOR)
- AREAS SHADED THUSLY INDICATE THE EXTENT OF EXTERIOR WALL ASSEMBLY, AS DESCRIBED IN TYPICAL FLOOR PLAN SYMBOLS (SEE SHEET A-2)
- AREAS SHADED THUSLY INDICATE THE EXTENT OF INSULATED CONCRETE FORMS (I.C.F.) FOUNDATION, AS DESCRIBED IN TYPICAL FLOOR PLAN SYMBOLS (SEE SHEET A-2)
- AREAS SHADED THUSLY INDICATE THE EXTENT OF ROOF BATT INSULATION, R-30 MIN.
- AREAS SHADED THUSLY INDICATE THE EXTENT OF CAST-IN-PLACE CONG. SLABS, 4" THICK MIN.



BLDG. SECTION
Scale 1/4" = 1'-0"



NORTH ELEVATION
Scale 1/4" = 1'-0"

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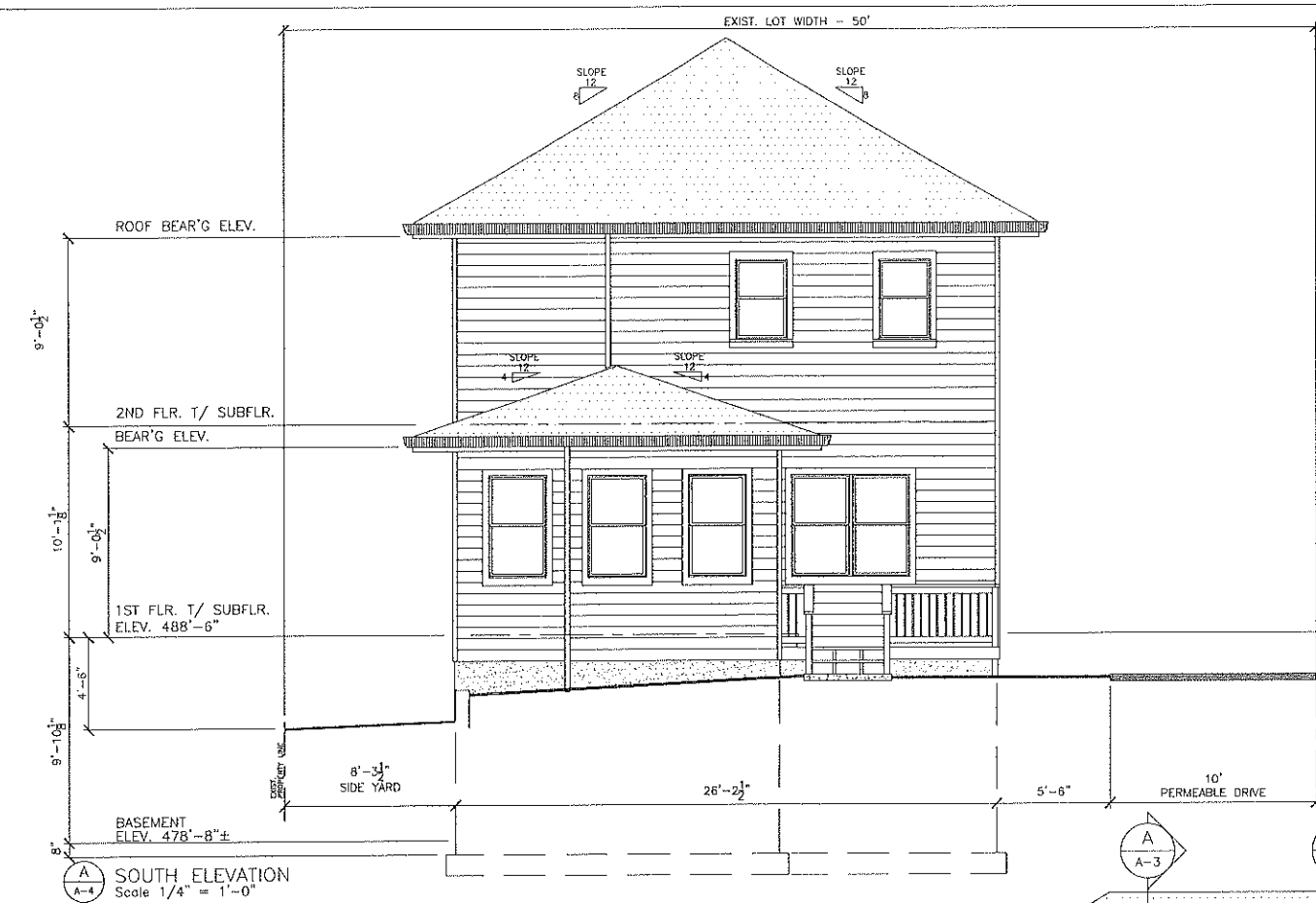
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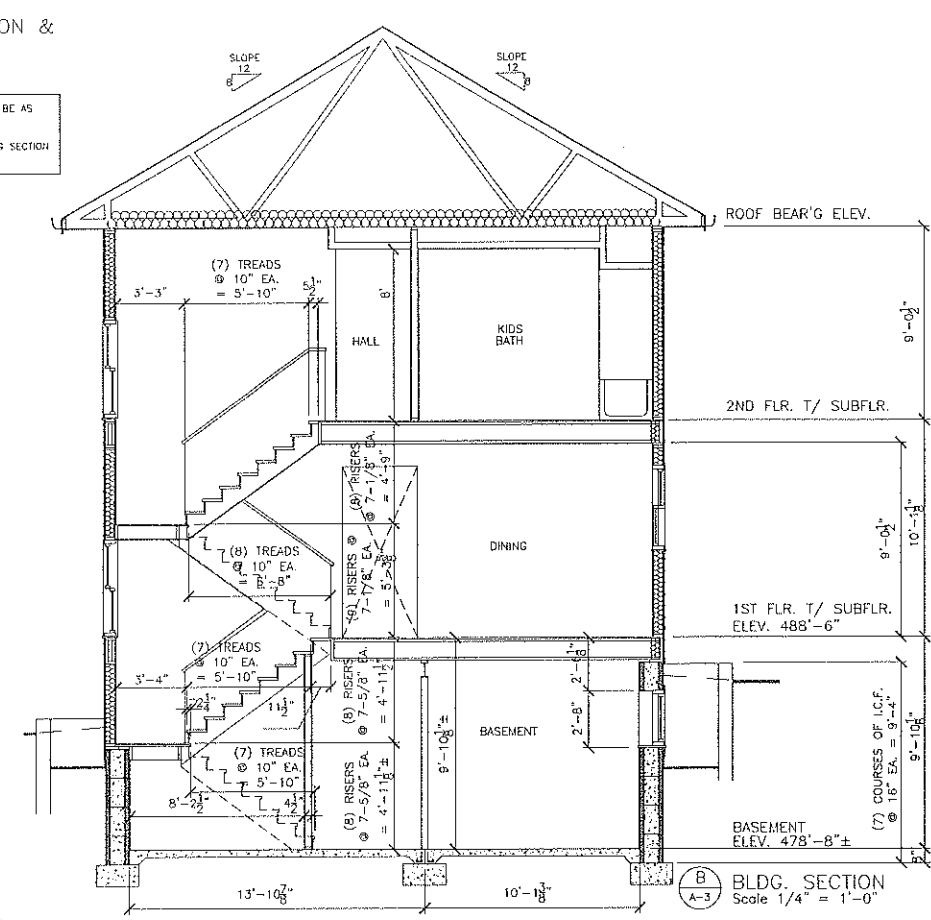
SHEET NO.

A-3



BUILDING ELEVATION & BUILDING SECTION GENERAL NOTES

1. EXTERIOR FINISH COLORS SHALL BE AS NOTED ON THE COVER SHEET.
2. SEE SHEET A-3, FOR TYPICAL BUILDING ELEVATIONS & BUILDING SECTION SYMBOLS.



EXT. COLOR GENERAL NOTES
EXTERIOR COMPONENTS SHALL CONFORM TO THE FOLLOWING:

ROOF SHINGLES	BLACK
H.P. LAP SIDING	MIDNIGHT BLUE
MASONRY VENEER	MISSION CUT PATTERN GRAY COLOR
GARAGE DOOR	CHARCOAL GRAY
FRONT DOOR	BLACK
HORIZONTAL TRIM	BLACK
WIDOW TRIM	BLACK
FASCIA BOARDS	WHITE
GUTTER BOARDS	WHITE
GUTTERS & DOWNSPOUTS	WHITE
DECK COMPONENTS	
DECK SURFACES	GREY (TREX)
DECK RAILINGS	GREY (TREX)
DECK POSTS	CEDAR



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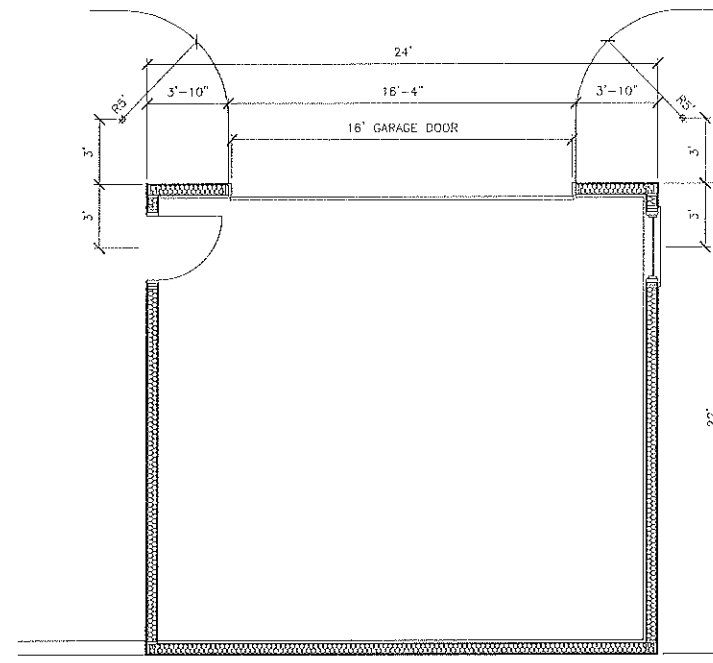
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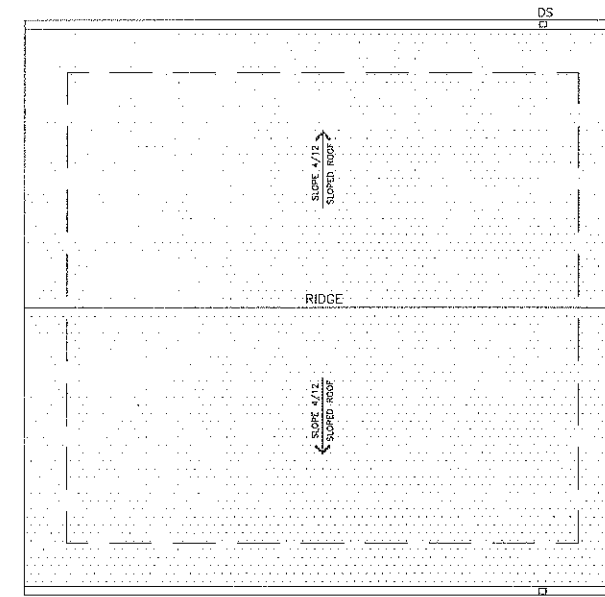
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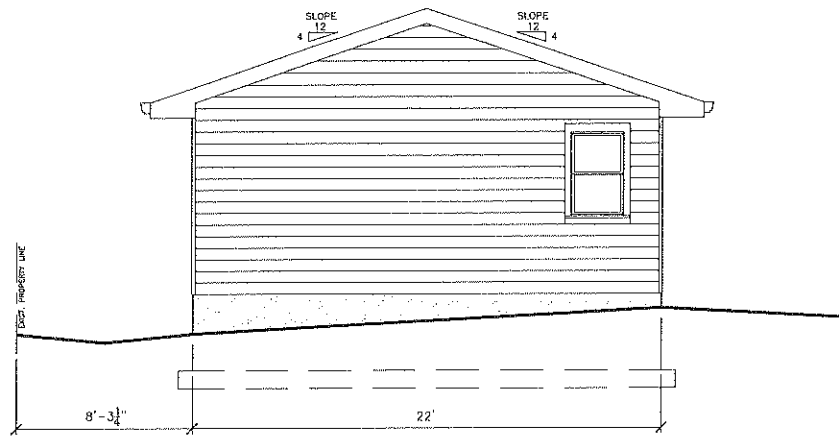
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A-4



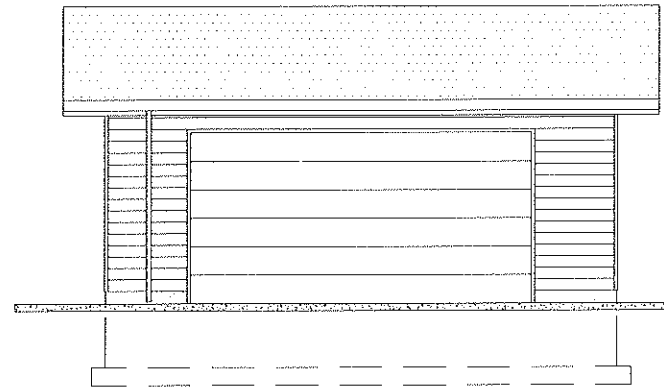
(A) GARAGE FLOOR PLAN
Scale 1/4" = 1'-0"



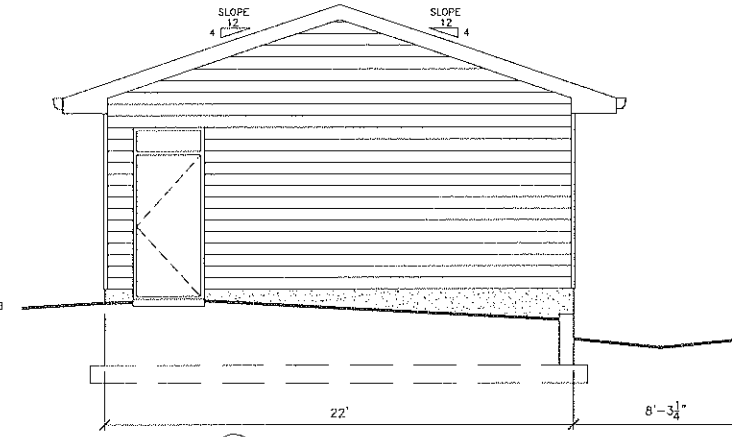
(B) GARAGE ROOF PLAN
Scale 1/4" = 1'-0"



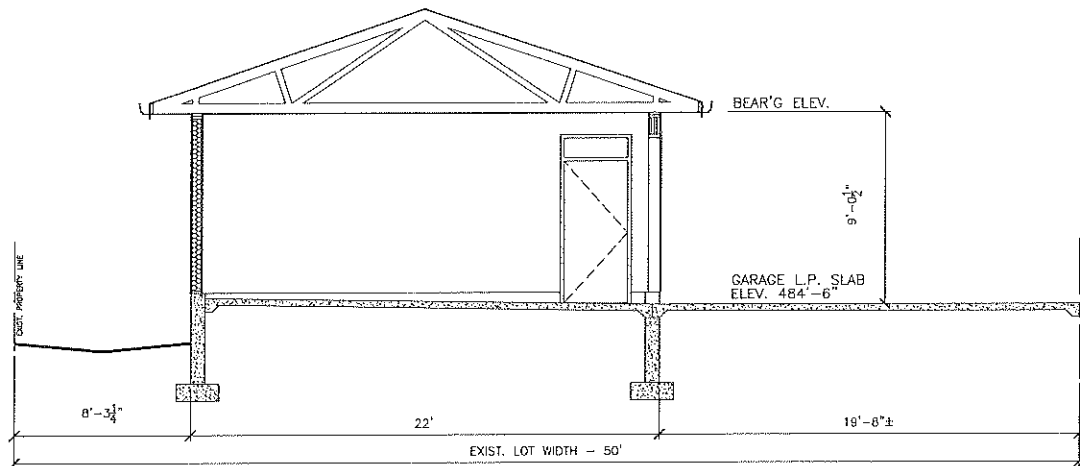
(C) SOUTH BUILDING ELEVATION
Scale 1/4" = 1'-0"



(D) EAST BUILDING ELEVATION
Scale 1/4" = 1'-0"



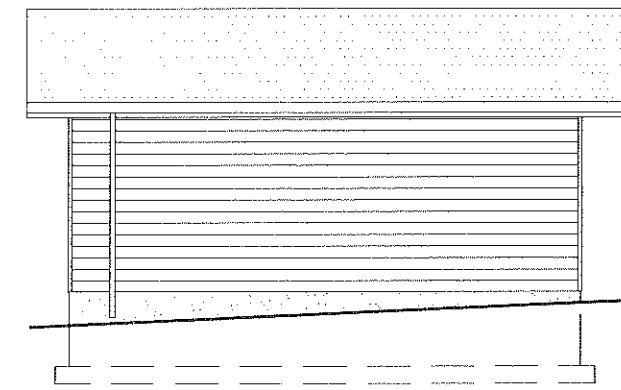
(E) NORTH BUILDING ELEVATION
Scale 1/4" = 1'-0"



(F) BUILDING SECTION
Scale 1/4" = 1'-0"



(G) BUILDING SECTION
Scale 1/4" = 1'-0"



(H) WEST BUILDING ELEVATION
Scale 1/4" = 1'-0"

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