

- EXIST. SITE PLAN - KEYED DEMOLITION NOTES**
- D-1 EXIST. 1 STORY FRAME RESIDENCE (8714 EULALIE) TO BE DEMOLISHED
 - D-2 EXIST. CONC. PORCH TO BE DEMOLISHED
 - D-3 EXIST. PAVED DRIVEWAY TO BE REMOVED
 - D-4 EXIST. DETACHED 2 CAR GARAGE TO BE DEMOLISHED
 - D-5 EXIST. CONC. WALKS & STEPS TO BE DEMOLISHED
 - D-6 EXIST. RETAINING WALLS TO BE DEMOLISHED
 - D-7 EXIST. WOOD DECK & STEPS TO BE DEMOLISHED
 - D-8 EXIST. R.R. TIE RETAINING WALL TO BE DEMOLISHED
 - D-9 EXIST. TREES TO REMAIN AS IS

- PROPOSED SITE PLAN - KEYED NOTES**
- A AREAS SHADDED THUSLY INDICATE PROPOSED NEW RESIDENCE, 8714 EULALIE. SEE SHEETS A-1 & A-2 FOR PLANS
 - B AREAS SHADDED THUSLY INDICATE PROPOSED NEW "PERMEABLE PAVEMENT" DRIVEWAY SURFACE, AS RECOMMENDED BY CONTRACTOR
 - C AREAS SHADDED THUSLY INDICATE PROPOSED NEW CONC. PAVED DRIVEWAY SURFACE
 - D AREAS SHADDED THUSLY INDICATE PROPOSED NEW 2 CAR GARAGE (SEE SHEET A-5 FOR RELATED NOTES)
 - E AREAS SHADDED THUSLY INDICATE PROPOSED NEW WOOD FRAMED DECK & STEPS (SEE SHEET A-1 FOR RELATED NOTES)
 - F AREAS SHADDED THUSLY INDICATES THE EXTENT OF NEW CONC. WALKWAYS & STEPS (AS NEEDED TO ACCOMMODATE CONTIGUOUS)
 - G PROVIDE NEW "MUDBO" BELLY AS NOTED AT BASEMENT WINDOWS. SEE BUILDING ELEVATIONS, SHEETS A-3 & A-4 FOR RELATED INFORMATION
 - H EXISTING TREES TO REMAIN AS IS
 - J NEW RETAINING WALLS, AS RECOMMENDED BY CONTRACTOR

PROPOSED EXTERIOR COLORS
 SEE BUILDING ELEVATIONS SHEET A-4 FOR EXTERIOR COLOR KEY

TYPICAL ABBREVIATIONS

A	AREA OR AISLE	J	JOIST
AC	AIR CONDITONING	K	KNICK OUT
AD	AREA DRAIN	KS	KNEE SPACE
ALUM	ALUMINUM	L	LAUNDRY
APT	APARTMENT	LF	LARGER FOOT OR FEET
B	BULLETIN BOARD	LP	LOW POINT
BC	BACK CHECK	LT	LIGHT
BO	BOARD	M	MASONRY
B/TFTG	BRITION OF FOOTING	MAS	MASONRY
BL	BACK LEDGE	MECH	METAL MECHANICAL
BN	BEAM	MEH	METAL HOLE
B.O.	BY OTHERS	M.O.	MASONRY OPENING
BSK	BRICK	NU	NOT IN CONTACT
C	CENTER TO CENTER	NTS	NOT TO SCALE
C-C	CENTER LINE	O	ON CENTER
CL	CLEAN OUT	OD	OUTSIDE DIMENSION
CO	CONCRETE	P	PAINT
CPT	CARPET	P.D.	POCKET DOOR
CT	CERAMIC TILE	PL	PROPERTY LINE
CY	CUBIC YARD	PLY	PLYWOOD
D	DRIVER (CLOTHES)	PP	PROPERTY POLE
DB	DRAINER BASE CABINET	PR	PAPER
DN	DOWN	PT	POST
DVAL	DOUBLE VALVE	PTD	PAPER TOWEL DISPENSER
D.O.	DOUBLE OVEN	Q	QUARTER
DS	DISPENSER	R	RESIDENT BASE
DR	DOOR	ROU	ROUGH
DRI	DRAWER	REF	REFRIGERATOR
DW	DISH WASHER	RN	ROUGH
E	EXISTING	R.O.	ROUGH OPENING
EX	EXISTING	ROW	RIGHT OF WAY
EJ	EXHAUST FAN	S	SOAP DISPENSER
EJ	EXHAUST JOINT	ST	SQUARE FOOT OR FEET
ELEC	ELECTRIC	ST	SQUARE INCH
END	END	STL	STEEL
EQ	EQUAL	SV	SHEET VINYL
EQ	EQUAL	SACH	SATCH SQUARE YARD
EXT	EXTERIOR	ST	STAIR
F	FLOOR DRAIN	T	TOKEN BAR
FE	FIRE EXTINGUISHER	TB	TO BE REMOVED
F.F.	FACE OF ...	TFD	TOILET PAPER DISPENSER
FLR	FLOOR	U	UNDER
FLUOR.	FLUORESCENT	UL	UNDER CLOUING
FOUND.	FOUNDATION	UL	UNDERCLOSET
FT	FOOT OR FEET	ULC	UNDERCLOSET
F.V.	FIELD VERIFY	UV	ULTRA VIOLET
G	GRAB BAR	V	VOLTA
GC	GENERAL CONTRACTOR	VCT	VINYL COMPOSITION TILE
GD	GARAGE DISPOSAL	W	WASHER (CLOTHES)
GF	GRASS FURT BURNER	WC	WATER CLOSET (TOILET)
GL	GLASS	WD	WOOD
GR	GRACK	WDM	WINDOW
GV	GRASS	WH	WATER HEATER
GYP	GYPSONUM	WTR	WATER
H	HOLE	W/D	WITHOUT
HC	HOLLOW CORE	W/W	WOOD
HIGHT	HIGHT	WP	WEATHER PROOF
HM	HOLLOW METAL	WT	WEIGHT
HP	HIGH POINT	WAF	WEALED WIRE FABRIC
HWR	HOT WATER	Y	YARD
HVAC	HEATING, VENTILATED & AIR CONDITONING	YD	YARD DRAIN
I	INSIDE		
I	INSIDE IMPERVISION		
ICAD	INSIDE IMPERVISION		
ISL	INSULATION		
INT	INTERIOR		

SITE PLAN GENERAL NOTES

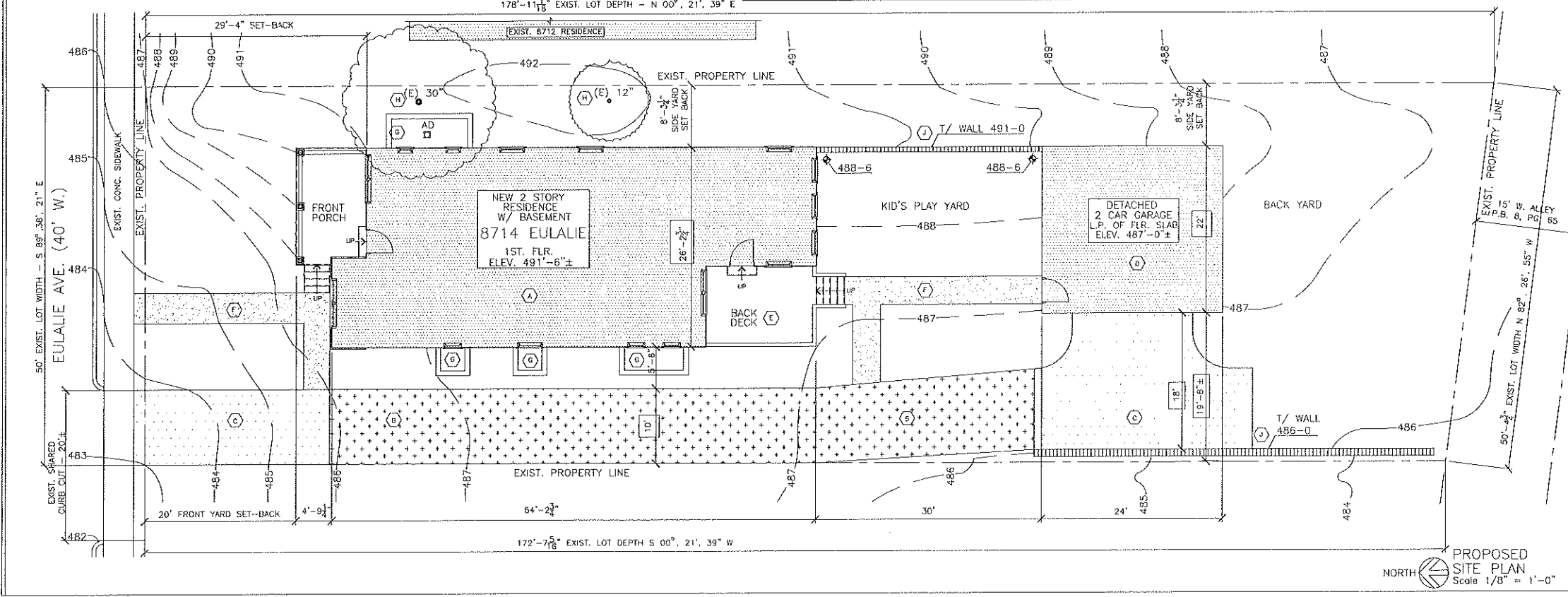
- 1 THE SITE PLAN SHOWS IS BASED UPON "MISSOURI STANDARDS BOUNDARY & IMPROVEMENT SURVEY, LOT 14 IN BLOCK 3 OF WATSONIA PLANNED COMMUNITY, PAGE 85, CITY OF BREWSTER, MISSOURI, PRODUCED BY PITZMAN CO. OF SURVEYORS & ENGINEERS, 2728 SUTTON BLVD., ST. LOUIS, MO. 63143. SIGNED AND SEALED BY: WILLIAM M. BETHUNE, REGISTERED LAND SURVEYOR, LICENSE NO. 13-2619, DATED JUNE 26, 2008
- 2 THE PROPERTY "8714 EULALIE AVE." IS CURRENTLY OWNED BY THREE DOORS PROPERTIES, L.L.C.
- 3 THE SITE LOCATION NUMBER IS 214521463, BOOK 23868, PAGE 1876. SEE SITE COVERAGE INFORMATION BELOW FOR AREA OF SITE.
- 4 THE SITE CONTOUR ELEVATIONS ARE APPROXIMATE REPRESENTATIONS OF THE CONTOURS INDICATED ON THE BOUNDARY & IMPROVEMENT SURVEY.
- 5 SEE BOUNDARY & IMPROVEMENT SURVEY FOR EXIST. UTILITY LOCATIONS. MODIFY AS NEEDED TO ACCOMMODATE PROPOSED CONSTRUCTION.

SITE COVERAGE INFORMATION

TOTAL AREA OF PROPERTY	8,790 ± SQ. FT.
FOOTPRINT OF PROPOSED RESIDENCE	1,495 ± SQ. FT.
2 CAR GARAGE	530 ± SQ. FT.
IMPERVIOUS SURFACES	700 ± SQ. FT.
• DRIVEWAY PAVING	325 ± SQ. FT.
• PATIOS, WALKS & OTHER PAVING	375 ± SQ. FT.
TOTAL AREA OF BUILDINGS AND OTHER IMPERVIOUS SURFACES	3,050 ± SQ. FT.
PERCENTAGE OF SITE COVERAGE	35 %

DRAWING INDEX

DRAWING DESIGNATION	PAGE
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A-5 DETACHED GARAGE PLANS & ELEVATIONS	6 OF 6



PROPOSED SITE PLAN
 Scale 1/8" = 1'-0"

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Date Issued 08/28/20

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SHEET NO.
 COVER

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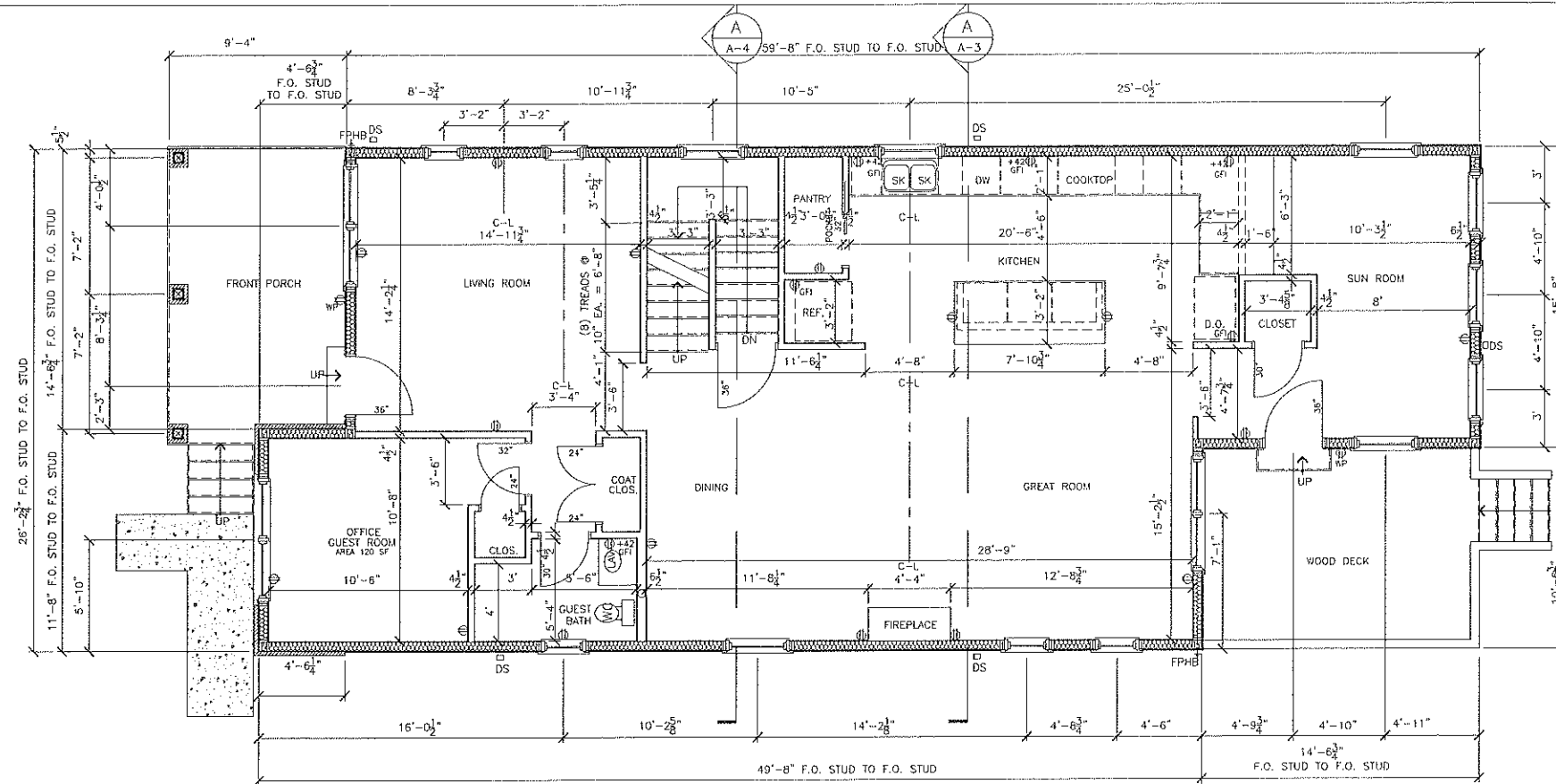
TYPICAL FLOOR PLAN SYMBOLS

- FOUNDATION WALL ASSEMBLY, CONSISTING OF "INSULATED CONCRETE FORM" (I.C.F.) UNITS 13-1/4" THICK WITH EPS FOAM SIDES (2-5/8" THICK) FABRICATED W/ INTERNAL BRACING DESIGNED TO RECEIVE CAST-IN-PLACE CONC. CORES (8" THICK) AND STEEL REINFORCING BARS. FORMS CAN RECEIVE INTERIOR FINISHES OF 1/2" GYP. BD. ATTACHED TO INTERNAL BRACING, AND EXTERIOR FINISHES OF EITHER EXT. SIDING, COBERT PLASTER SKIN COATS OR WATER-PROOF COATING (FOR BELOW GRADE USE) PRODUCTS MANUFACTURED BY "FOX BLOCKS" AS SELECTED BY THE CONTRACTOR WILL BE USED
- FOUNDATION WALL ASSEMBLY, CONSISTING OF "CONVENTIONAL" 8" THICK CAST-IN-PLACE CONC. FOUNDATION
- EXTERIOR WALLS, CONSISTING OF 2 X 6 STUD FRAMING 15" O.C., W/ 7/16" OSB EXT. GR. SHEATHING AND EXT. SIDING (AS SELECTED BY THE CONTR.) W/ R-19 BATT INSUL. INSERTS AND 1/2" GYP. BD. INTERIOR FINISH. TOTAL R VALUE = 20 ±
- EXTERIOR WALLS, CONSISTING OF 2 X 6 STUD FRAMING 15" O.C., W/ 7/16" OSB EXT. GR. SHEATHING AND EXT. MASONRY VENEER PANELS (AS SELECTED BY THE CONTR.) W/ R-19 BATT INSUL. INSERTS AND 1/2" GYP. BD. INTERIOR FINISH. TOTAL R VALUE = 20 ±
- INTERIOR PARTITIONS, CONSISTING OF 2 X 6 STUD FRAMING 15" O.C., OR 2 X 6 STUDS FRAMING AT PLUMB'S WALLS. W/ 1/2" GYP. BD. FINISH EACH SIDE.
- NEW INTERIOR DOORS AND FRAMES
- DOOR WIDTH X 6'-8" HIGH
- KEYED PLAN NOTE
- WD-CT TRANSITION BY FLOOR FINISH
- AREAS SHADED THUSLY INDICATE THE EXTENT OF EXTERIOR CONCRETE PAVED SURFACES
- AREAS SHADED THUSLY INDICATE THE EXTENT OF INTERIOR EXPOSED CONCRETE SURFACES
- AREAS SHADED THUSLY INDICATE THE EXTENT OF SLOPED SHINGLED ROOF SURFACES
- AREAS SHADED THUSLY INDICATE THE EXTENT OF METAL GUTTERS

ELECTRICAL COMPONENTS FLOOR PLAN SYMBOLS

(G.C. NOTE: LOCATIONS SHOWN ON PLANS ARE ARCHITECT'S RECOMMENDATIONS ONLY. ELEC. SUBCONTRACTOR TO COORDINATE W/ OWNER ON FINAL LOCATIONS)

- ⊖ ELECTRICAL COMMENCEMENT OUTLETS, TYPICALLY MOUNTED 12" A.F.F.
- ⊕ GF1 DESIGNATES GF1 OUTLET
- ⊕ 442 DESIGNATES INSTALLED 42" A.F.F.
- ⊕ WP DESIGNATES WEATHER-PROOF (EXTERIOR) OUTLET

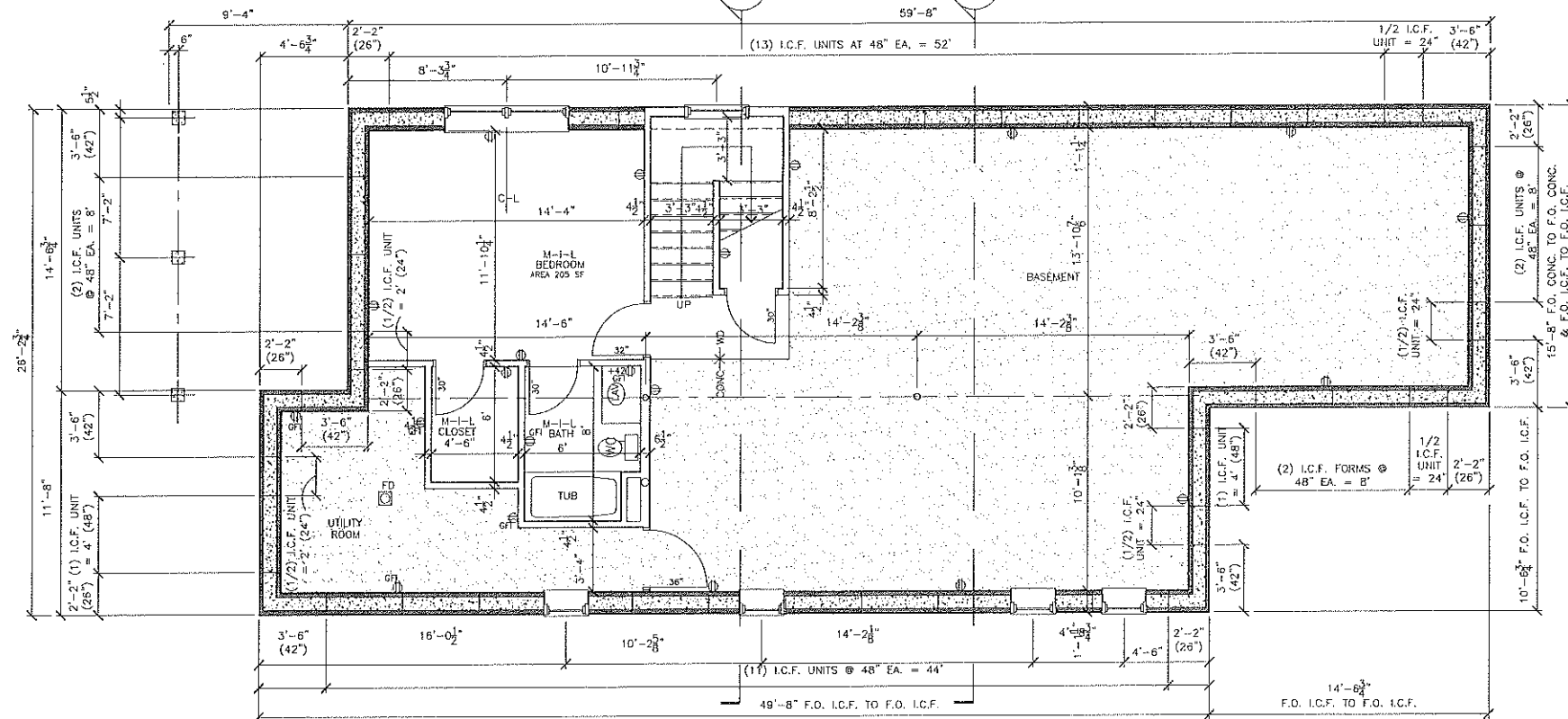


FLOOR PLAN GENERAL NOTES

1. INTERIOR FINISHES AND COLORS SHALL BE SELECTED BY THE CONTRACTOR.
2. SEE SHEET A-1, FOR TYPICAL FLOOR PLAN SYMBOLS.

AREA CALCULATIONS
FIRST FLOOR HABITABLE AREA 1,440 SF

NORTH FIRST FLOOR PLAN
Scale 1/4" = 1'-0"



AREA CALCULATIONS
BASEMENT HABITABLE AREA 1,235 SF

NORTH BASEMENT FLOOR PLAN
Scale 1/4" = 1'-0"

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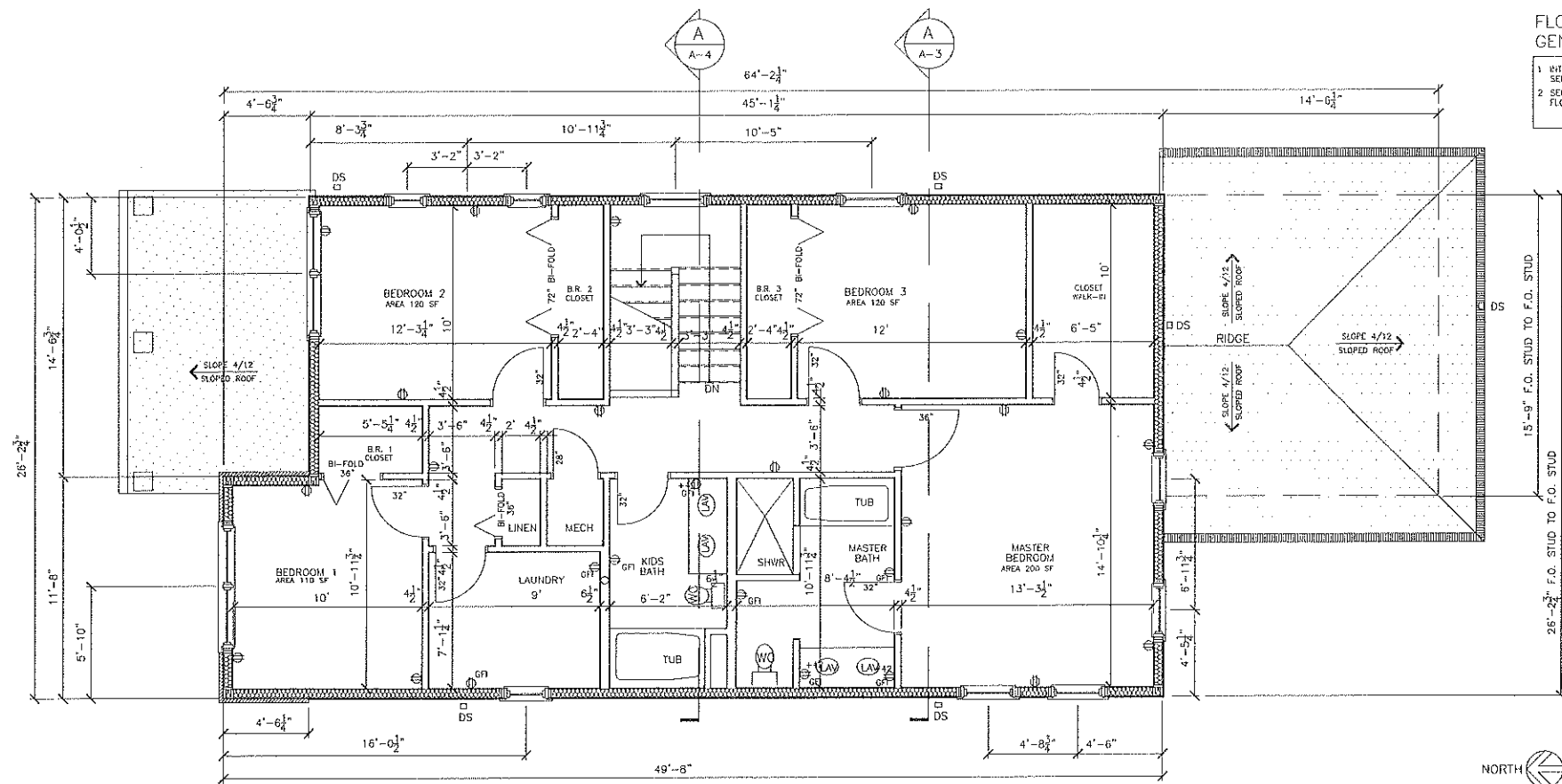
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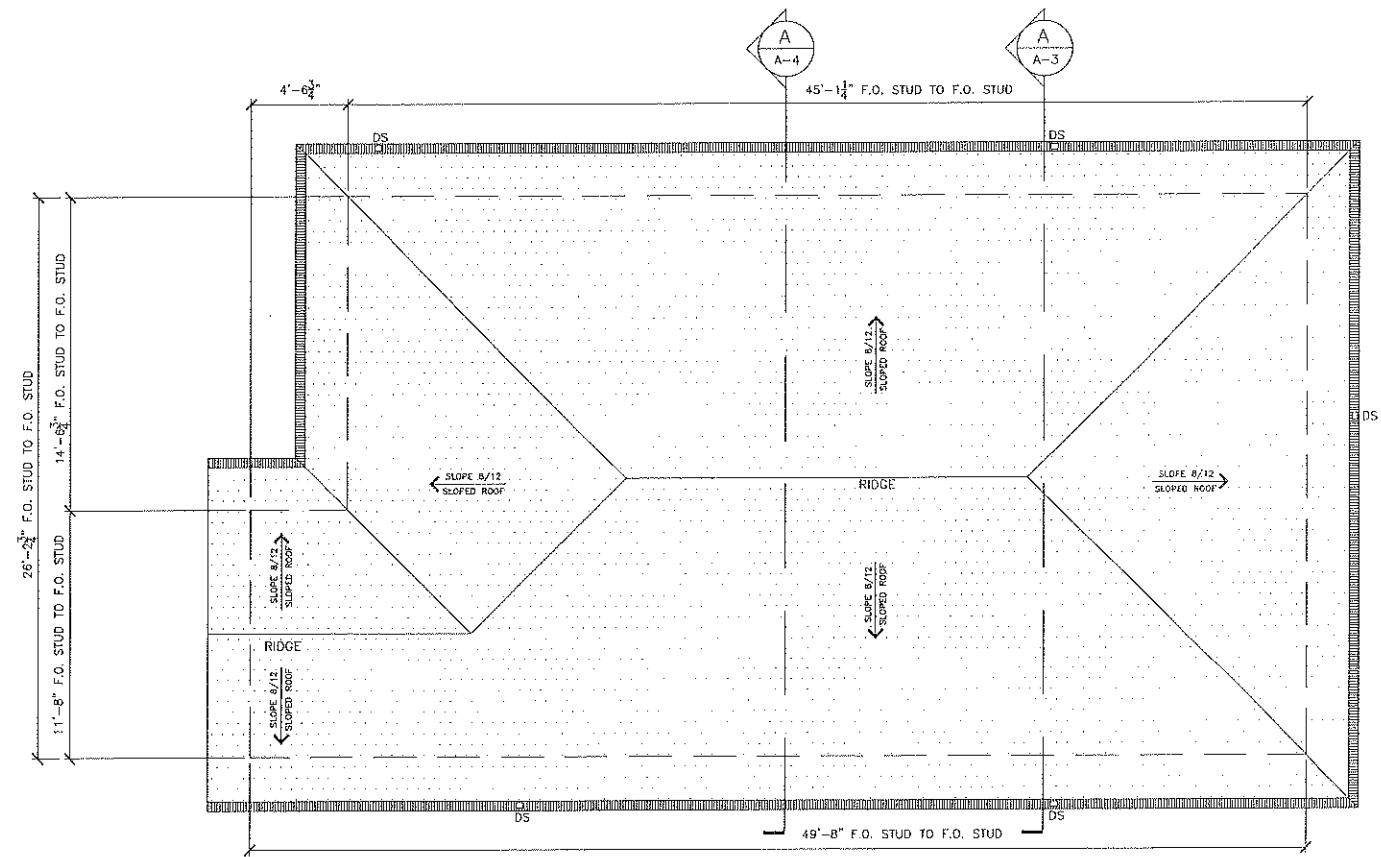
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**FLOOR PLAN
GENERAL NOTES**

1. INTERIOR FINISHES AND COLORS SHALL BE SELECTED BY THE CONTRACTOR.
2. SEE SHEET A-1, FOR TYPICAL FLOOR PLAN SYMBOLS.

AREA CALCULATIONS
SECOND FLOOR HABITABLE AREA 1,160 SF
**SECOND FLOOR &
LOWER ROOF PLAN**
Scale 1/4" = 1'-0"



UPPER ROOF PLAN
Scale 1/4" = 1'-0"

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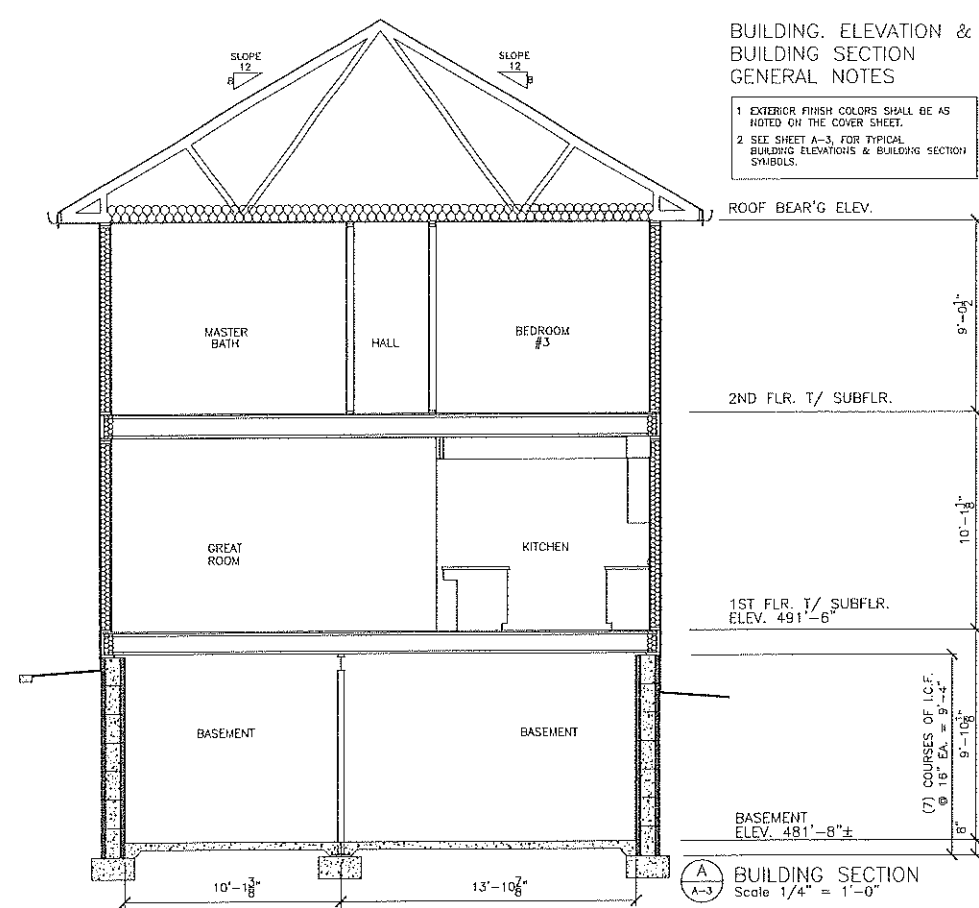
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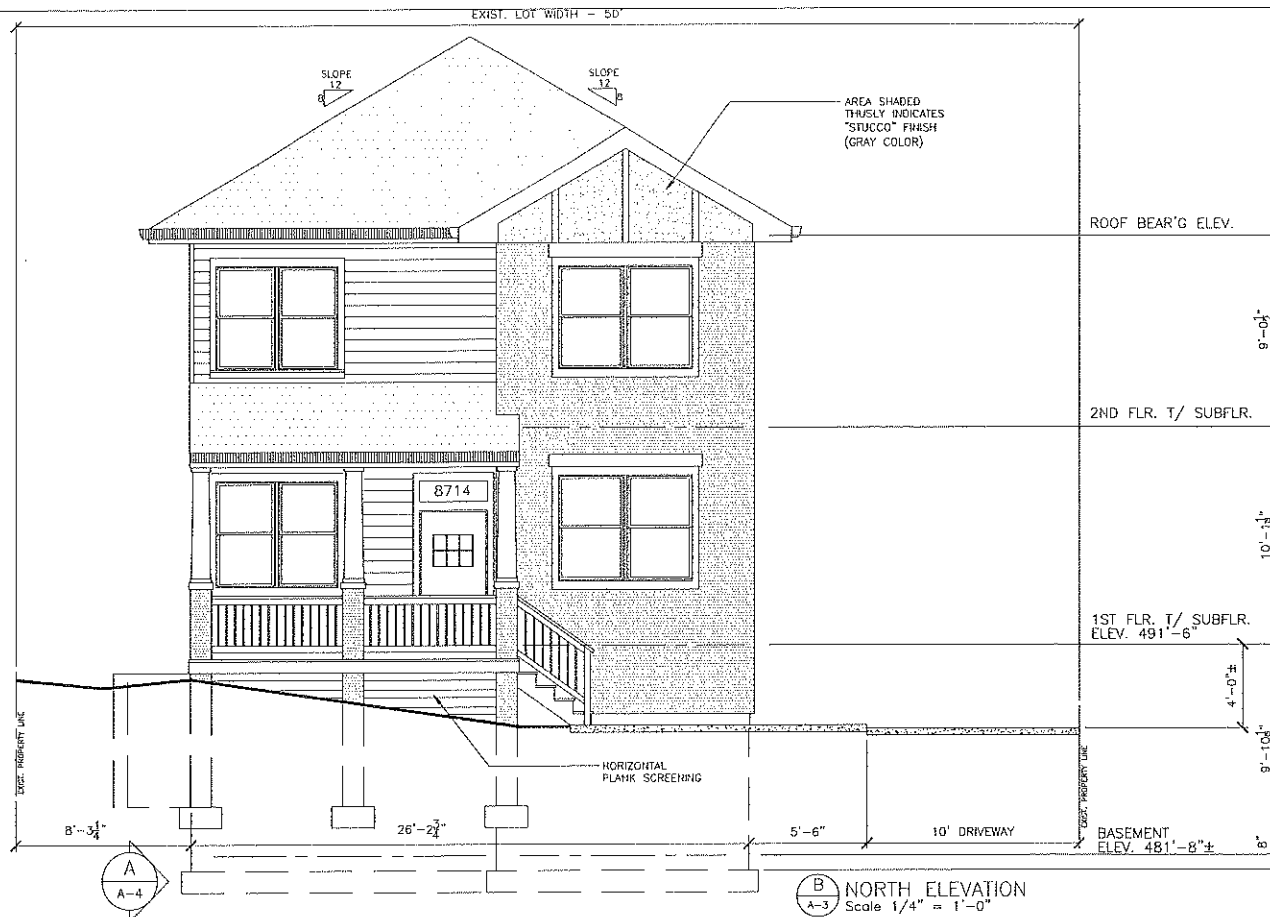
A-2



BUILDING ELEVATION & BUILDING SECTION GENERAL NOTES

- 1 EXTERIOR FINISH COLORS SHALL BE AS NOTED ON THE COVER SHEET.
- 2 SEE SHEET A-3, FOR TYPICAL BUILDING ELEVATIONS & BUILDING SECTION SYMBOLS.

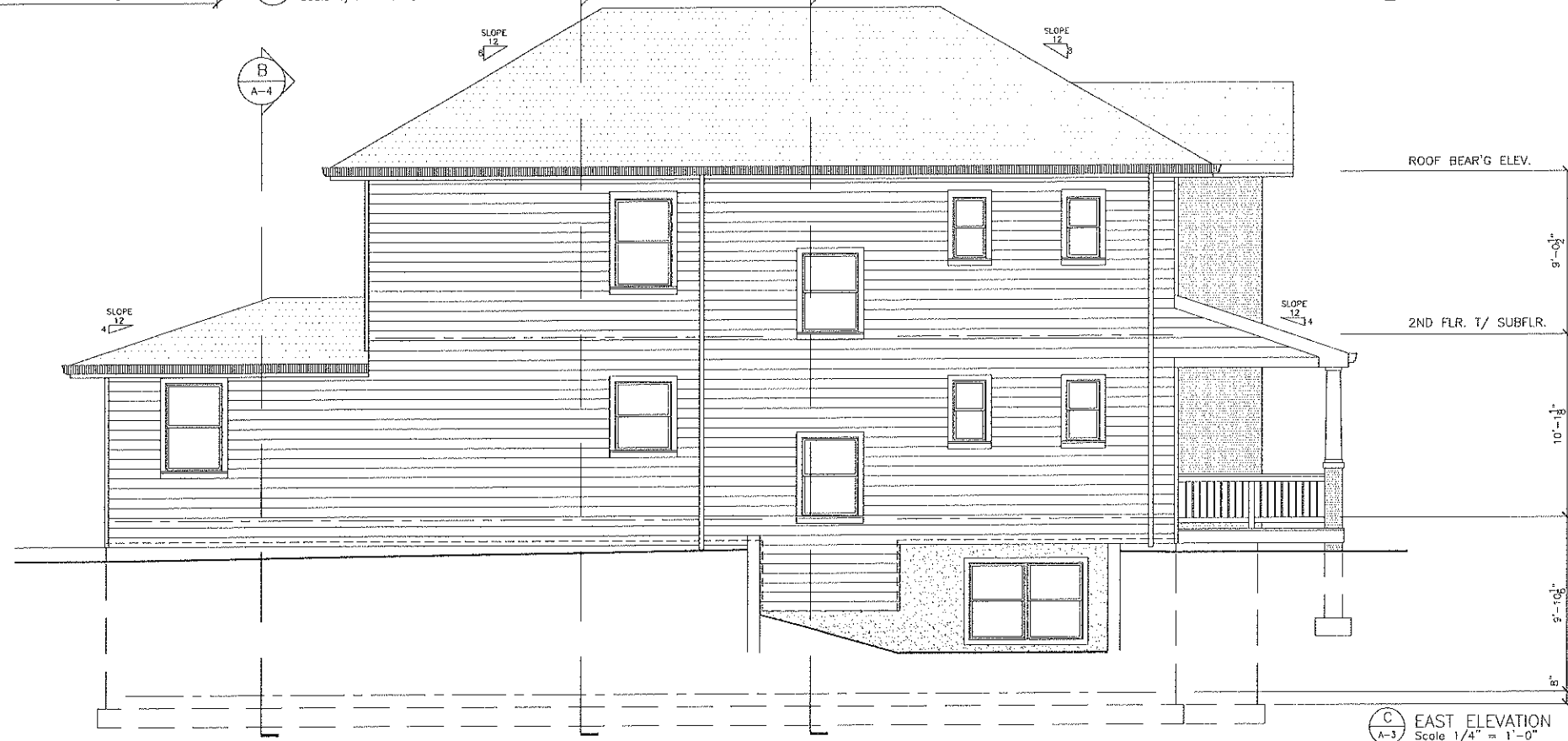
BUILDING SECTION
Scale 1/4" = 1'-0"



NORTH ELEVATION
Scale 1/4" = 1'-0"

TYPICAL BUILDING ELEVATION & BUILDING SECTION SYMBOLS

- AREAS SHADED THUSLY INDICATE THE EXTENT OF SLOPED SHINGLED ROOF SURFACES
- AREAS SHADED THUSLY INDICATE THE EXTENT OF METAL GUTTERS
- AREAS SHADED THUSLY INDICATE THE EXTENT OF EXTERIOR LAP SIDING, CONSISTING OF L.P. SIDING (AS SELECTED BY THE CONTRACTOR) WITH 6-1/2" LAP EXPOSURE
- AREAS SHADED THUSLY INDICATE THE EXTENT OF MASONRY VENEER CLADDING (AS SELECTED BY THE CONTRACTOR)
- AREAS SHADED THUSLY INDICATE THE EXTENT OF EXTERIOR WALL ASSEMBLY, AS DESCRIBED IN TYPICAL FLOOR PLAN SYMBOLS (SEE SHEET A-2)
- AREAS SHADED THUSLY INDICATE THE EXTENT OF INSULATED CONCRETE FORMS (I.C.F.) FOUNDATION, AS DESCRIBED IN TYPICAL FLOOR PLAN SYMBOLS (SEE SHEET A-2)
- AREAS SHADED THUSLY INDICATE THE EXTENT OF ROOF BATT INSULATION, R-30 MIN.
- AREAS SHADED THUSLY INDICATE THE EXTENT OF CAST-IN-PLACE CONC. SLABS, 4" THICK MIN.



EAST ELEVATION
Scale 1/4" = 1'-0"

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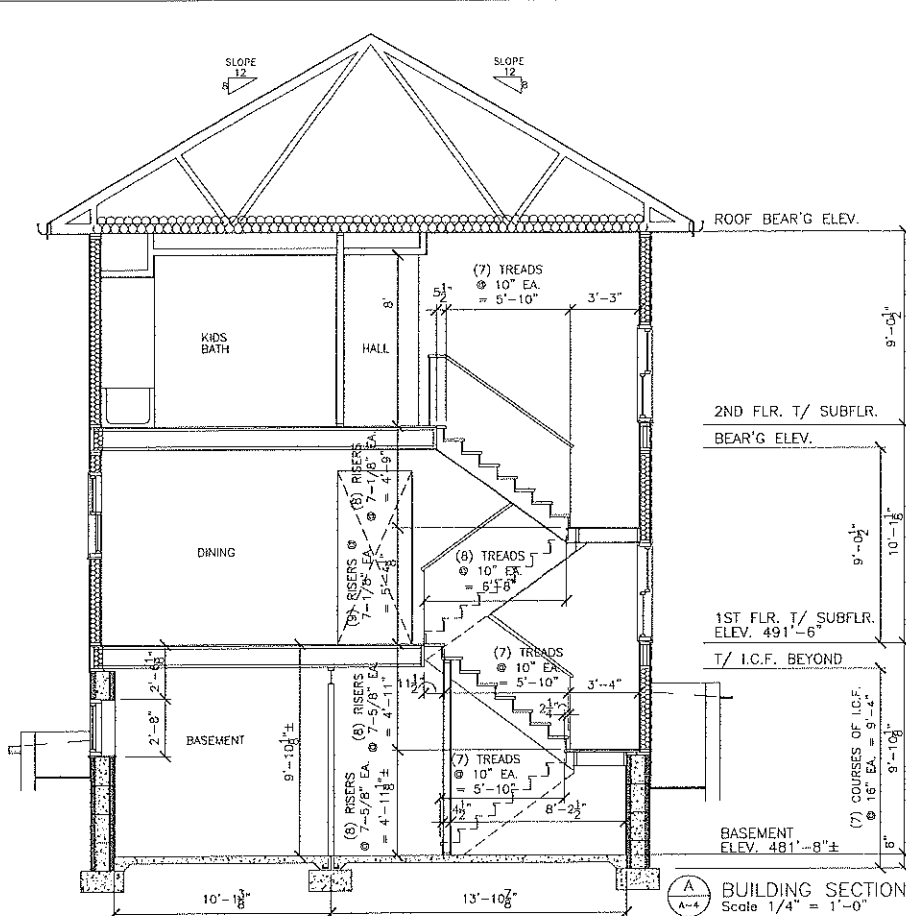
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BUILDING, ELEVATION & BUILDING SECTION GENERAL NOTES

- EXTERIOR FINISH COLORS SHALL BE AS NOTED ON THE COVER SHEET.
- SEE SHEET A-3, FOR TYPICAL BUILDING ELEVATIONS & BUILDING SECTION SYMBOLS.

EXT. COLOR GENERAL NOTES
EXTERIOR COMPONENTS SHALL CONFORM TO THE FOLLOWING:

ROOF SHINGLES	BLACK
H.P. LAP SIDING	WHITE
MASONRY VENEER	MISSION CUT PATTERN GRAY COLOR
GARAGE DOOR	GRAY
FRONT DOOR	BLACK
HORIZONTAL TRIM	BLACK
WINDOW TRIM	BLACK
FASCIA BOARDS	BLACK
GUTTER BOARDS	BLACK
GUTTERS & DOWNSPOUTS	BLACK
DECK COMPONENTS	
DECK SURFACES	GREY (TRK)
DECK RAILINGS	GREY (TRK)
DECK POSTS	CEDAR



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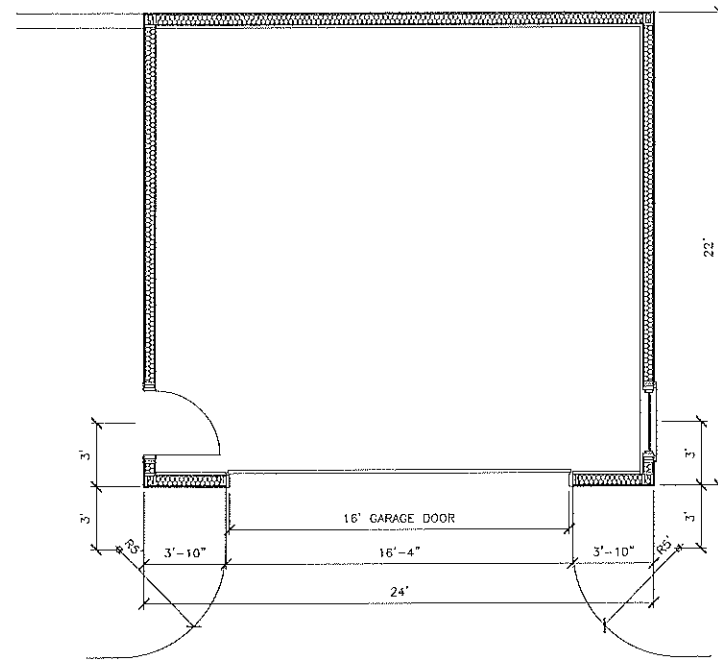
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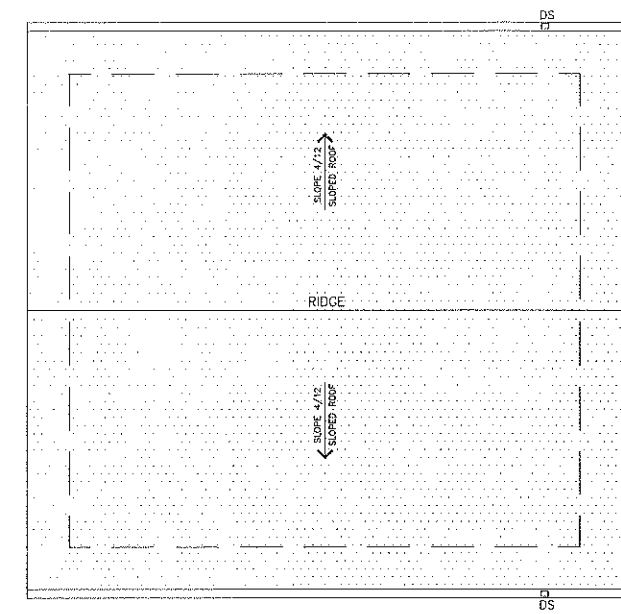
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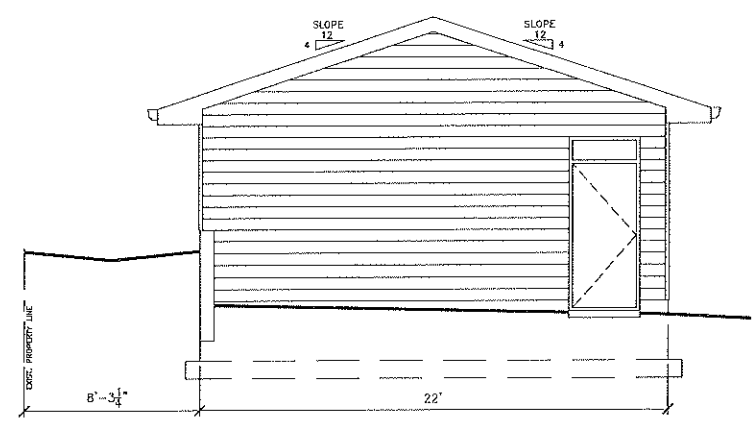
A-4



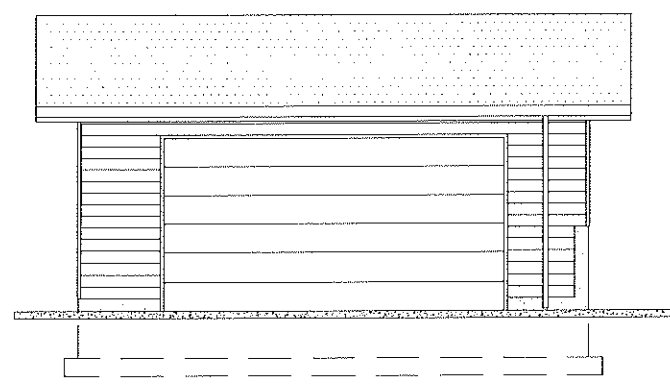
A GARAGE FLOOR PLAN
A-5 Scale 1/4" = 1'-0"



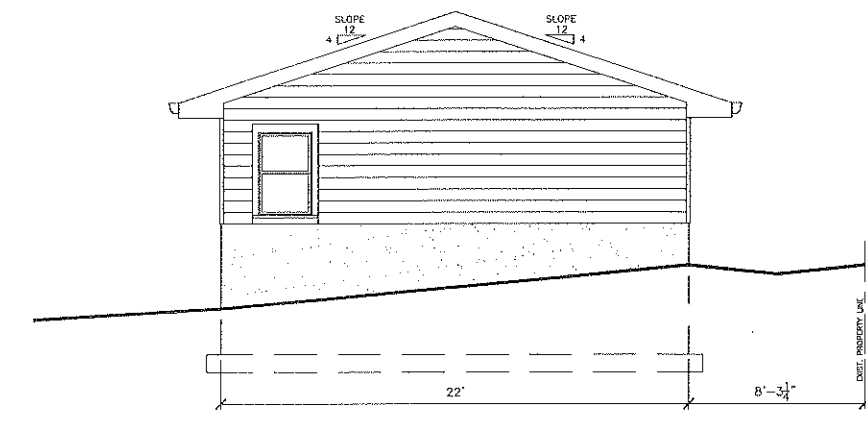
B GARAGE ROOF PLAN
A-5 Scale 1/4" = 1'-0"



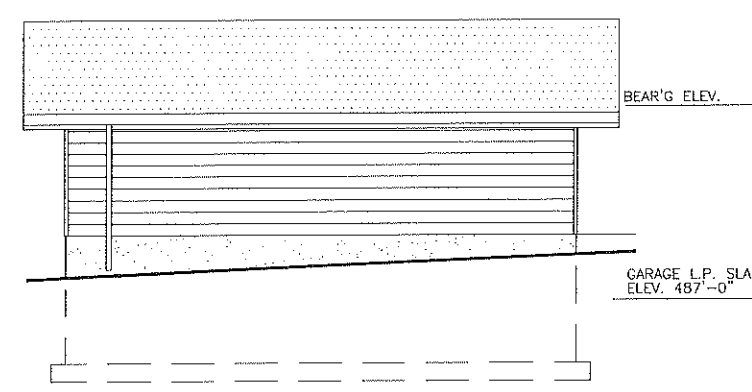
C NORTH BUILDING ELEVATION
A-5 Scale 1/4" = 1'-0"



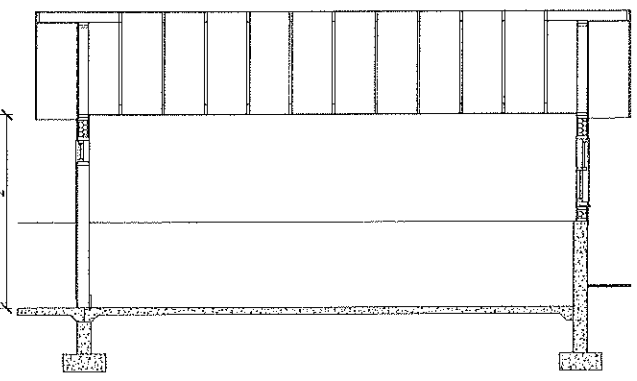
D WEST BUILDING ELEVATION
A-5 Scale 1/4" = 1'-0"



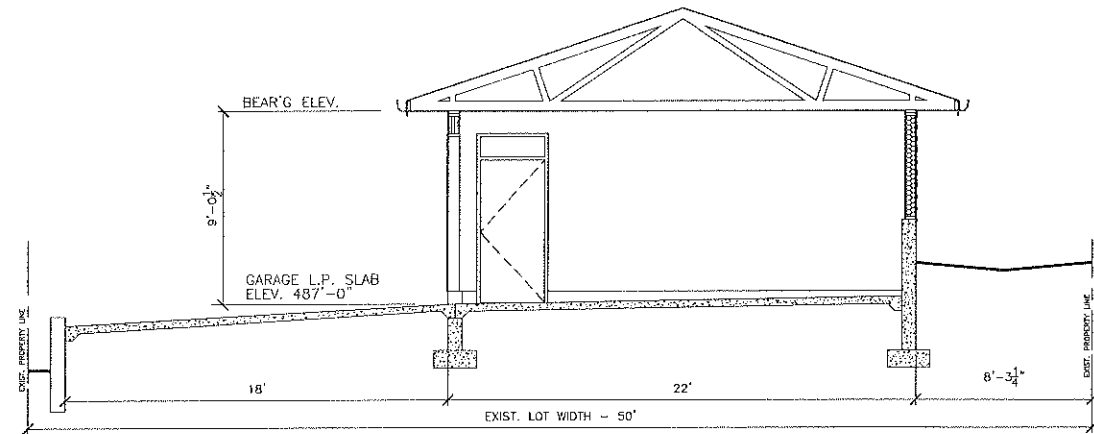
E SOUTH BUILDING ELEVATION
A-5 Scale 1/4" = 1'-0"



F EAST BUILDING ELEVATION
A-5 Scale 1/4" = 1'-0"



G BUILDING SECTION
A-5 Scale 1/4" = 1'-0"



H BUILDING SECTION
A-5 Scale 1/4" = 1'-0"

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